



**ARCHITECTURAL REVIEW BOARD  
CITY OF FREDERICKSBURG, VIRGINIA  
AGENDA  
January 09, 2017  
7:00 P.M.  
COUNCIL CHAMBERS, CITY HALL**

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1. Call To Order
2. Determination Of A Quorum
3. Determination That Public Notice Requirements Have Been Met
4. Election Of Officers
5. Approval Of Agenda
  - 5.I. 01-09-2017 Agenda

Documents:

[01\\_01-09-2017\\_ARB AGENDA.PDF](#)

6. Review Of Minutes
  - 6.I. December 12, 2016-Public Hearing

Documents:

[03\\_12-12-2016\\_DRAFT\\_ARBMINUTES.PDF](#)

7. Disclosure Of Ex Parte Communication
8. Disclosure Of Conflicts Of Interest
9. Continued Cases
  - 9.I. COA 2016-75 – 525 Caroline Street & 506-516 Sophia Street

Documents:

[04\\_REVISED\\_COA 2016-75\\_ARBMEMO\\_506-516 SOPHIA STREET\\_01-09-2017.PDF](#)

10. Public Hearing
  - 10.I. New Business

10.I.i. Fences

10.I.i.1. COA 2016-90 – 605 Sophia Street

Documents:

[05\\_COA 2016-90\\_ARBMEMO\\_605 SOPHIA STREET.PDF](#)

10.I.ii. Signs

10.I.ii.1. COA 2016-87 – 1006 Caroline Street

Documents:

[06\\_COA 2016-87\\_ARBMEMO\\_1006 CAROLINE STREET.PDF](#)

10.I.iii. Exterior Alterations

10.I.iii.1. COA 2016-85 – 714-716 Caroline Street

Documents:

[07\\_COA 2016-85\\_ARBMEMO\\_714-716 CAROLINE STREET.PDF](#)

10.I.iii.1.1. COA 2016-86 – 413 Princess Elizabeth Street

Documents:

[08\\_COA 2016-86\\_ARBMEMO\\_413 PRINCESS ELIZABETH STREET.PDF](#)

10.I.iii.2. Demolition

10.I.iii.2.1. COA 2016-88 – 1210 Sophia Street

Documents:

[09\\_COA 2016-88\\_ARBMEMO\\_1210 SOPHIA STREET.PDF](#)

10.I.iii.3. COA 2016-89 – 1208 Sophia Street

Documents:

[10\\_COA 2016-89\\_ARBMEMO\\_1208 SOPHIA STREET.PDF](#)

10.I.iii.4. New Construction

10.I.iii.4.1. COA 2016-54 – 823 Caroline Street

Documents:

[11\\_REVISED\\_COA 2016-54\\_ARBMEMO\\_823 CAROLINE STREET\\_01-09-2017.PDF](#)

11. General Public Comment

12. Other Business

12.I. A. Update On Archaeology Program And Ordinance

12.I.i. B. Update On 1207 Charles Street Appeal

13. Adjournment



# ARCHITECTURAL REVIEW BOARD

CITY OF FREDERICKSBURG, VIRGINIA

January 9, 2017

7:00 PM

Council Chambers, City Hall

1. Call to Order
2. Determination of a Quorum
3. Determination that Public Notice Requirements have been Met
4. Election of Officers
5. Approval of Agenda
6. Review of Minutes of Previous Meeting
  - A. December 12, 2016 – Public Hearing
7. Disclosure of *Ex Parte* Communication
8. Disclosure of Conflicts of Interest
9. Continued Cases
  - i. **COA 2016-75 – 525 Caroline Street & 506-516 Sophia Street** – Van Perroy requests approval of the architectural details of three new structures. The new buildings include seven three-story townhomes in two structures and one four-story apartment building with seven units.
10. Public Hearing
  - A. New Business
    - Fences**
      - i. **COA 2016-90 – 605 Sophia Street** – Jim Wink requests to install a six foot tall solid wood fence along the north side of this residential property.
    - Signs**
      - ii. **COA 2016-87 – 1006 Caroline Street** – Alona Orofino requests to install signs for the Il Mercato business including a projecting sign and window decals.
    - Exterior Alterations**
      - iii. **COA 2016-85 – 714-716 Caroline Street** – Brian Lam requests to replace the iron entry gate at the front elevation of this commercial building with a solid wood door.
      - iv. **COA 2016-86 – 413 Princess Elizabeth Street** – Eric Jensen requests to install a new wood shed at the northeast rear corner of this residential property, and to install a new gutter and downspout at the front elevation.

### **Demolition**

- v. **COA 2016-88 – 1210 Sophia Street** – The City of Fredericksburg requests permission to move this residential structure to a site within the city limits. Proposals for relocation of the structure will be accepted during an advertised five-month period. If no proposals are received, the City requests to demolish the structure.
- vi. **COA 2016-89 – 1208 Sophia Street** – The Central Rappahannock Regional Library requests to demolish this commercial structure.

### **New Construction**

- vii. **COA 2016-54 – 823 Caroline Street** – Shawn Phillips requests to construct a deck with approximately 24 feet of frontage on Caroline Street on this vacant lot to provide outdoor seating for the Spencer Devon Brewery. This is the second public hearing for consideration of detailed architectural design and the final proposed project in its entirety.

11. General Public Comment

12. Other Business

A. Update on Archaeology Program and Ordinance

B. Update on 1207 Charles Street Appeal

13. Adjournment



**Minutes**  
**Architectural Review Board**  
December 12, 2016  
Council Chambers, City Hall  
Fredericksburg, Virginia

**Members Present**

John Harris, Chair  
Sabina Weitzman, Vice Chair  
Susan Pates  
Jamie Scully  
Kerri S. Barile  
Kenneth McFarland

**Members Absent**

Jon Van Zandt

**Staff**

Kate Schwartz  
Chuck Johnston

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Mr. Harris called the Architectural Review Board meeting to order at 7:00 p.m.

**OPENING REMARKS**

Mr. Harris determined that a quorum was present and asked if public notice requirements had been met. Ms. Schwartz stated that they had.

**APPROVAL OF AGENDA**

Mr. Harris asked if there were any changes or additions to the agenda. Dr. Barile requested to add a preliminary discussion of Board elections to the end of the meeting. Mr. Harris requested that the continued case COA 2016-75 be considered after the public hearing items. Mr. Scully made a motion to approve the agenda as amended. Ms. Weitzman seconded. The motion carried unanimously.

**APPROVAL OF MINUTES**

Mr. Harris asked if there were any changes or additions to the minutes. Ms. Weitzman corrected an error on page 3 so that the sentence now reads, "Ms. Weitzman hates to *cut* the applicant off..." Dr. Barile added to a sentence on page 7, so that the sentence now reads, "...but the building represented a period of history *and type of architecture not represented in the District.*"

Mr. McFarland made a motion to approve the November 14, 2016 minutes as amended. Dr. Barile seconded. The motion carried unanimously.

**DISCLOSURE OF EX PARTE COMMUNICATIONS**

Mr. Harris asked if any Board member had engaged in any *ex parte* communication on any item before the Board. No one indicated that they had engaged in any *ex parte* communication.

## **DISCLOSURE OF CONFLICTS OF INTEREST**

Mr. Harris asked if any Board member had a conflict of interest for any item before the Board. No one indicated they had a conflict of interest.

## **PUBLIC HEARING**

### **A. New Business**

#### **Fences**

- i. COA 2016-78 – 413 Princess Elizabeth Street** – Eric Jensen requests to install a six foot tall wood fence on the rear and east side property lines and a four foot tall wood fence on the west side property line at this single-family residence.

The applicant was present. There was no public comment.

Dr. Barile made a motion to approve the application as submitted, with the friendly recommendation to consider painting the pressure-treated wood once it has weathered sufficiently. Ms. Weitzman seconded. The motion carried unanimously.

#### **Signs**

- ii. COA 2016-80 – 829 Caroline Street** – Dr. Mitra Madison requests to retain signs for the Sight Studio Optometry business including one building-mounted sign, one projecting sign, and one door decal.

Cory Schilling was present to represent the applicant. He apologized for not following the correct procedure to get the signs approved. There was no public comment.

Ms. Weitzman made a motion to approve the application as submitted. Mr. Scully seconded. The motion carried unanimously.

- iii. COA 2016-71 – 911 Caroline Street** – Valerie White requests to retain signs for the Flowers by Val business, including window decals and awning signs.

The applicant, Valerie White, was present. There was no public comment.

Dr. Barile asked for clarification on the placement of the awning decals. She asked why some overlap the metal seam on the front of the awning. Mr. Scully said it appeared that the metal wrapping the top edge of the awning appeared uneven. Dr. Barile said she would have preferred that the metal be fixed, but she felt the signs could be approved because they are removable.

Mr. Scully made a motion to approve the application as submitted. Mr. McFarland seconded. The motion carried unanimously.

#### **Exterior Alterations**

- iv. COA 2016-82 – 1207 Charles Street** – Elaine Farmer requests to replace four windows at the front elevation of this commercial building.

The applicants, Elaine and Emory Farmer, were present. There was no public comment.

Dr. Barile asked about the procedure for resubmitted applications, because the application was very similar to the application considered in November. Ms. Schwartz said that the applicants had provided new information regarding their request and therefore, it should be considered as a new application.

Mr. Scully restated the information that staff provided showing that the condition of the windows warranted replacement. The need for replacement is due to the deterioration of the windows and the original construction method of the windows.

Mr. Harris commented that he found the city of Alexandria's historic district window policy to be helpful when considering this application. He said the Board should consider drafting and adopting a similar policy. Mr. Scully said that while no ARB decision establishes a precedent, the ARB would need to be prepared for similar future applications and be prepared to evaluate them as thoroughly.

Ms. Pates said she thought they had established a fair compromise during consideration of the previous application for this building, where the fiberglass windows could be used on the sides and rear, but wood would need to be retained on the front.

Dr. Barile said she agreed and that she felt the existing wood windows were a character-defining feature of the Colonial Revival building. She said she did not believe fiberglass was an appropriate replacement material and clearly did not meet standards two and six. Dr. Barile said she would also like to continue a discussion about establishing a windows policy for Fredericksburg's Historic District.

Mr. Harris asked the Board for a motion. Mr. Scully said he was on the fence because he felt the visual appearance of the windows could not be replicated unless made of wood. He said the look of the replacement would be substantially different.

Mr. Harris said he would agree if this were a 1780 or 1820 building, but feels this building has less historic value. Dr. Barile asked how fiberglass could be considered appropriate. In the previous consideration, the Board unanimously agreed that fiberglass windows weren't an appropriate replacement.

Ms. Schwartz said that new fiberglass simulated divided light windows can often have a more appropriate muntin profile and width than new wood simulated divided light windows because of the way the materials weather. The wood windows must have thicker muntins to be able to withstand weathering, while the fiberglass muntins can be thinner and more similar to historic wood windows.

Mr. McFarland and Mr. Harris discussed the previous consideration of windows at this property. Mr. Scully suggested tabling the application for a month, but did not receive support from the Board. Mr. Scully asked for clarification regarding window guideline number six from the *Historic District Handbook*. Ms. Schwartz restated the observations from her field evaluation describing how repair of the windows was not feasible.

Mr. Scully made a motion to approve the replacement windows according to the staff recommendation. He said he recognized that staff had visited the site and performed the research and felt he should trust that recommendation. Mr. Scully's motion failed for lack of a second.

Mr. Scully asked if the rest of the Board disagreed with the need for replacement. Ms. Weitzman said that she understood why replacement was necessary, and said that was less an issue than the product chosen. She said the challenge was that the like material (wood) had a slightly different appearance than the original, but the alternate material would provide a more similar appearance. Dr. Barile said she agreed that the structural issues and need for replacement are clear, but that she did not support the alternate material, and believed that the material was more important than the visual appearance.

Mr. Scully made a motion to approve the replacement of the windows on condition that the replacement windows are made of wood with true divided lights. Ms. Pates seconded. The motion carried unanimously.

- v. **COA 2016-79 – 1209-1401 Kenmore Avenue** – The City of Fredericksburg Parks, Recreation, and Public Facilities Department requests to install a prefabricated concrete restroom building in Memorial Park.

Mike Ward, from the City of Fredericksburg Parks, Recreation, and Public Facilities Department, was present. He said the building would be the same style and color scheme as the Hurkamp Park building that was previously approved. He also said they had received one letter of support from a neighbor on Mary Ball Street.

There was no public comment.

Mr. McFarland suggested that additional vegetation be planted to help block the view of the building from the Meditation Rock. The Board agreed that additional screening should be incorporated.

Stating that it was with the understanding that landscaping would be a requirement of the project, Ms. Weitzman made a motion to approve the application on condition that the walls would be finished in the "Skip Trowel" texture in a light gray or tan color to match the residences along Mary Ball Street, and the roof would be finished with the shingle texture in a medium to dark brown. Ms. Pates seconded. The motion carried unanimously.

#### **CONTINUED CASES**

- i. **COA 2016-75 – 506-516 Sophia Street and 525 Caroline Street** – Van Perroy requests to demolish the existing townhomes at 506-516 Sophia Street and requests approval of the site planning, scale, massing, and architectural details of three new structures. The new buildings include seven three-story townhomes in two structures and one four-story apartment building with seven units.

The applicant, Van Perroy, was present as well as the architect, Lee Shadbolt. Mr. Perroy said that he had provided additional information since the November meeting,

including building heights, unit sizes, and additional street views. He said the average unit size would be 2250 square feet. He said he would be happy to incorporate the recommendations from staff.

There was no public comment.

Ms. Weitzman thanked Mr. Perroy for the additional information. She said the most compelling pieces of information included were the photographs of historic buildings that are similar in size and design. She said this made her more comfortable with the height. However, she did note the simplicity of the historic forms and asked if they had considered simplifying the cornice to better match these precedents.

Mr. Shadbolt said it was possible to lighten the cornice at the top of the buildings and eliminate the cornice returns at the side walls. Mr. McFarland said he supported the elimination of the cornice returns and a reduction in the height of the cornice.

Ms. Pates said she thought the building was still too tall, and could not support the height. Dr. Barile agreed and said that she had walked the block and reevaluated the guidelines in the *Historic District Handbook*, but she thought the project was too tall compared to the neighboring buildings. She said she appreciated the design, and supports construction on this block, but believes this proposal is too tall.

Mr. Scully said he agreed with the recommendations from staff, thinks it's a great project, and hopes to see it move forward. He said he thinks the height fits into the surrounding context. He said he would support approving the project as recommended by staff. Ms. Weitzman suggested breaking up the approval into several separate motions.

**Mr. Scully made a motion to approve the site planning, scale, and massing as presented. Ms. Weitzman seconded. The motion carried 4-2, with Barile and Pates against.**

**Mr. Scully made a motion to approve the proposed roof design and materials as presented. Ms. Weitzman seconded. The motion carried 4-2, with Barile and Pates against.**

**Mr. Scully made a motion to approve the windows and doors on condition that carriage-style doors be used for the garage entrances, and the paired windows and doors at the north end of the front elevation of the apartment building be changed to a single window and door, as recommended by staff. Ms. Weitzman seconded. The motion carried 4-2, with Barile and Pates against.**

Mr. Scully made a motion to approve the exterior architectural elements, but withdrew the motion after discussion with the Board regarding the cornice. Mr. Shadbolt suggested that the top cornice could be reduced and the third floor windows raised slightly in order to provide a better proportion at the top of the wall.

**Mr. Scully made a motion to table the exterior architectural elements (as defined in City Code §72-23.1 D(1)(h)). Ms. Weitzman seconded. The motion carried unanimously.**

Ms. Weitzman asked for clarification as to which walls would be clad in lapped siding. Mr. Shadbolt said it would only be the rear walls of the Sophia Street townhomes and the apartment building. Ms. Weitzman said she was concerned that these would still be visible from some public streets. The Board requested additional clarification on this from the applicant.

**Mr. Scully made a motion to table materials and miscellaneous details (as defined in City Code §72-23.1 D(1)(i)-(j)). Ms. Weitzman seconded. The motion carried unanimously.**

### **GENERAL PUBLIC COMMENT**

There was no public comment.

### **OTHER BUSINESS**

#### A. Transmittal of Planning Commission Agenda – December 14, 2016

Ms. Pates asked if the Hillel Center application would proceed. Ms. Schwartz said that the applicant had requested that the hearing be delayed to the January meeting, but that there would still be an opportunity for public comment at the meeting.

#### B. Creation of a Windows Policy for the Historic Fredericksburg District

Ms. Schwartz recommended to the Board that they adopt a Windows Policy similar in nature to the example provided for the City of Alexandria's historic districts.

Dr. Barile said there was some good material in Alexandria's introduction to their policy, but felt it was biased towards 20<sup>th</sup>-century materials. She said she would not support the replacement of character-defining steel windows, for example. She recommended tailoring the policy to significant materials from multiple periods of construction.

Ms. Pates said she supported including standards for repairing historic windows and felt it was important to provide alternate information to the many active window salesmen. Ms. Weitzman offered to provide materials for a library of sample products and information. The Board asked Ms. Schwartz to draft a windows policy for them to review.

#### C. Economic Incentives Info Sheet

Ms. Schwartz shared with the Board a new handout showing all the economic incentives available for historic buildings in Fredericksburg. Board members said the handout was very effective and provided great information. Mr. Scully recommended mailing it out to property owners in the Historic District. Ms. Schwartz said she would include it with the letter mailed to all new property owners in the district.

D. Preliminary Discussion of 2017 Chair and Vice Chair

The Board discussed upcoming elections at the January 2017 meeting. Mr. Harris indicated that he would be willing to continue as Chair for another year. Ms. Weitzman said she would continue as Vice Chair.

**ADJOURN**

Mr. Scully made a motion to adjourn. Dr. Barile seconded. The motion carried unanimously.

Meeting adjourned at 8:40 p.m.

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John Harris, ARB Chair



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for new construction at 525 Caroline Street and 506-516 Sophia Street

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### ISSUE

Van Perroy requests approval of the architectural details of three new structures. The new buildings include seven three-story townhomes in two structures and one four-story apartment building with seven units.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for detailed design and the proposed project in its entirety with the following conditions:

1. Use carriage-style garage doors at the ground floor of the apartment building.
2. Eliminate the portion of the third floor cornice that wraps around the side walls of townhomes 1, 3, and 4 to avoid interrupting the gable-end profile.
3. Use a single window and door, rather than paired units, at the far north end of the apartment building front elevation. The paired units appear too wide for this location.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1 D(1): *New construction*

No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:

- (a) Site planning (continuity of street edge, spacing between buildings, fences and walls, parking);
- (b) Building scale (size, height, facade proportions);
- (c) Building massing (form, roof shape, orientation);
- (d) Roof (shape, pitch, overhang, dormers, skylights, chimneys);
- (e) Windows (type, shape and proportion, rhythm and balance, blinds/shutters);
- (f) Doorways (placement and orientation, type);
- (g) Storefronts (materials, architectural details);
- (h) Exterior architectural elements (entrances, porches and steps, cornices);
- (i) Materials (wall surfaces, foundation, roof); and
- (j) Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities).

*Historic District Handbook*

*Site Planning* (pg. 69)

1. New buildings should be sited to reinforce the traditional street edge.

*Site Planning – Parking* (pg. 73)

1. New buildings in the downtown commercial district should have their parking in the rear of the building, allowing the building to become part of the existing streetscape and to reinforce the street edge.

*Building Scale* (pg. 74)

1. Although the zoning ordinance defines height limitations within the various parts of the city, building height at the street front should be compatible with the prevailing height of the entire block.
2. New buildings that must be taller than the prevailing height should be stepped back so the additional height is not visible from the street.
3. Architectural features—such as porches, entrances, storefronts, and other decorative elements—should be used to reinforce the human scale of the Historic District.

*Building Massing* (pg. 75)

1. Building form should relate to the existing streetscape. If most of the building forms are simple, then the form of a new building should respect that characteristic.
  - a. The orientation of new residential dwellings should be compatible with the neighboring houses on the block.

## **BACKGROUND**

At the December 12, 2016 meeting of the Architectural Review Board, approval was granted for the site planning, scale, and massing of three new buildings proposed for this site. Additionally, the roofing details as submitted were approved, and the details of the windows and doors were approved with the following conditions:

- Use carriage-style garage doors at the ground floor of the apartment building.
- Use a single window and door, rather than paired units, at the far north end of the apartment building front elevation. The paired units appear too wide for this location.

Additionally, demolition of the three existing structures on site was approved, contingent upon full approval of the proposed new construction, at the November 14, 2016 hearing of the ARB.

Under consideration at this time are the remaining architectural details, defined in City Code §72-23.1 D(1), items (h) exterior architectural elements, (i) materials, and (j) miscellaneous details. The applicant was asked to consider minor alterations to the cornice and to clarify where an alternate cladding material would be used on rear elevations. No additional information has been provided at this time.

### **Findings from December 12, 2016:**

The applicant proposes to combine the parcel at 506-516 Sophia Street with a portion of the adjoining parcel at 525 Caroline Street and redevelop the property with fourteen new residential units—a mix of seven single-family attached and seven multi-family units. The Board was first introduced to this application when it was presented for an advisory review as part of a Special Exception process. Special Exceptions were approved by City Council in September 2016 for increased density in the Flood Hazard Overlay District and Commercial Downtown zoning district.

### **New Construction at 525 Caroline Street and 506-516 Sophia Street**

The Board should continue their evaluation of the detailed architectural design of the new structures to determine whether they are in accordance with City Code §72-23.1 D(1), items (h) through (j).

#### **h. Exterior architectural elements (entrances, porches and steps, cornices)**

A heavy molded intermediate cornice tops the first floor and wraps the projecting porticos that shelter the entry doors. The porticos are supported by heavy Tuscan columns on brick bases with brick steps and landings. A heavy molded cornice and frieze also tops the wall below the eave at the third floor. This emphasizes the horizontality of the buildings and helps to minimize the overall height; however, revision of one element of the cornice should be considered. As currently proposed, the cornice wraps

the corner at townhomes 1, 3, and 4, and extends partway across the gable-end wall above the third story. On similarly-styled historic buildings, the cornice only crosses the front elevation. It is recommended that the historic precedent be followed, and the upper cornice on the side elevation be eliminated.

Each window and door opening features a brick jack arch with keystone detail and a brick sill. The porch columns will be made of PVC, the cornice will be made of fiberglass, and all other trim will be made of molded polyurethane. All trim materials will be primed and painted, providing an appearance that is visually compatible with the historic character of the district.

**i. Materials (wall surfaces, foundation, roof)**

The walls will be clad in standard size brick veneer, red in color, laid in running bond with a concave mortar joint. The jack arches and sills will be laid in an accent red color brick. Rear elevations will not be visible from the public right-of-way, but will be clad in lapped cement board siding, primed and painted. Lapped cement board siding will also be used for the roof balcony walls and for the bay window walls. The ground floor of the apartment building will be clad in a smooth cast stone veneer in an off-white color.

The roof will be clad in standing seam metal in color slate grey. The same material will be used for the bay window roofs. All windows will be aluminum-clad wood with simulated divided lights and interior spacer bars. The front and back entry doors will be solid wood doors. All balcony doors will be aluminum-clad wood with simulated divided lights and interior spacer bars. The materials proposed have been used throughout the district and are compatible with the historic character.

**j. Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities)**

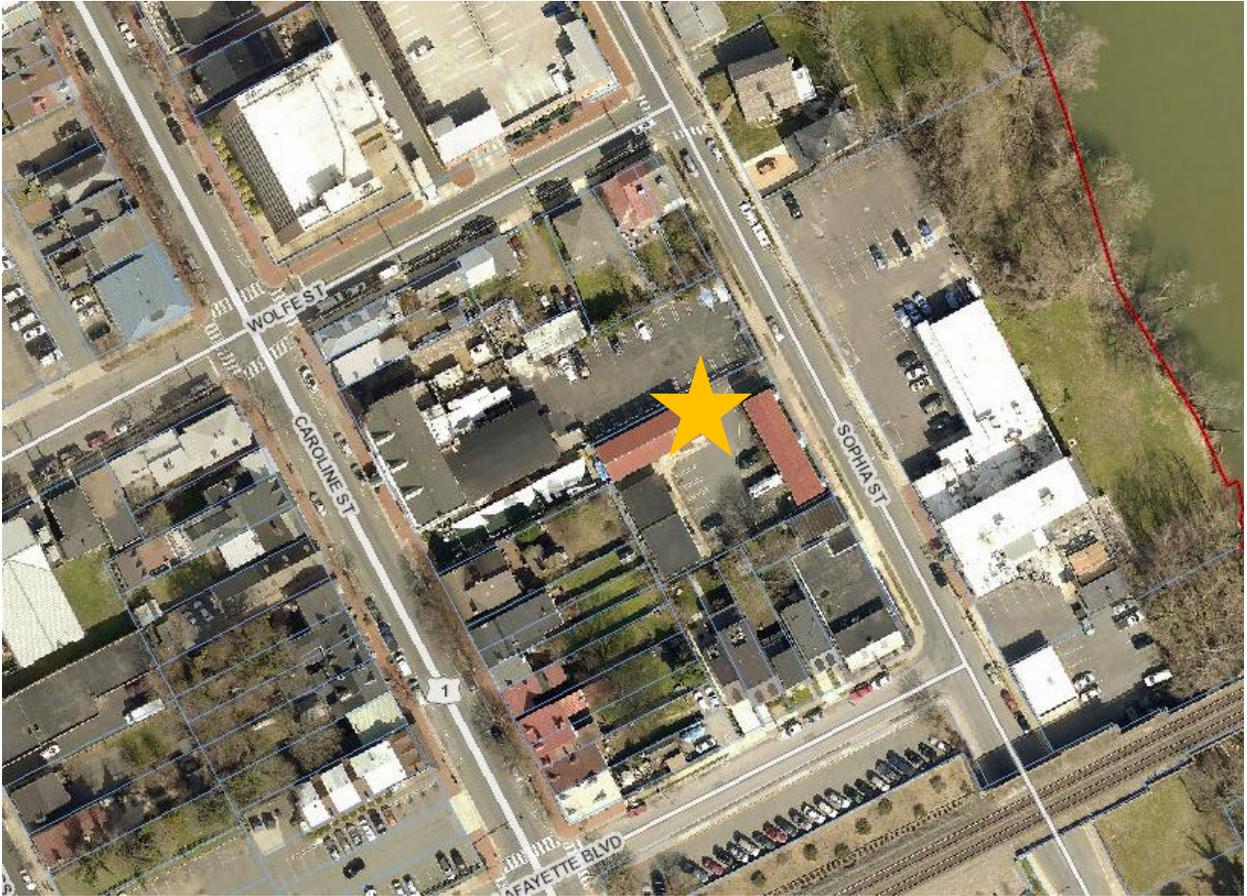
Aluminum gutters will be installed at the eaves and painted white to match the trim. The roof decks and balconies will be surrounded by painted decorative metal railings. Cast stone coping will be used to cap the brick end walls. The dividing walls between townhouses will be brick, capped with painted metal coping. The fence and gate at the rear of the property will be constructed of satin black powder-coated aluminum with 5/8-inch pickets, 2-inch square posts with ball caps, and decorative circle inserts.

**The design details are generally in accordance with the Historic District standards and guidelines, and approval is recommended with the following condition:**

- Eliminate the portion of the third floor cornice that wraps around the side walls of townhomes 1, 3, and 4 to avoid interrupting the gable-end profile.

Attachments:

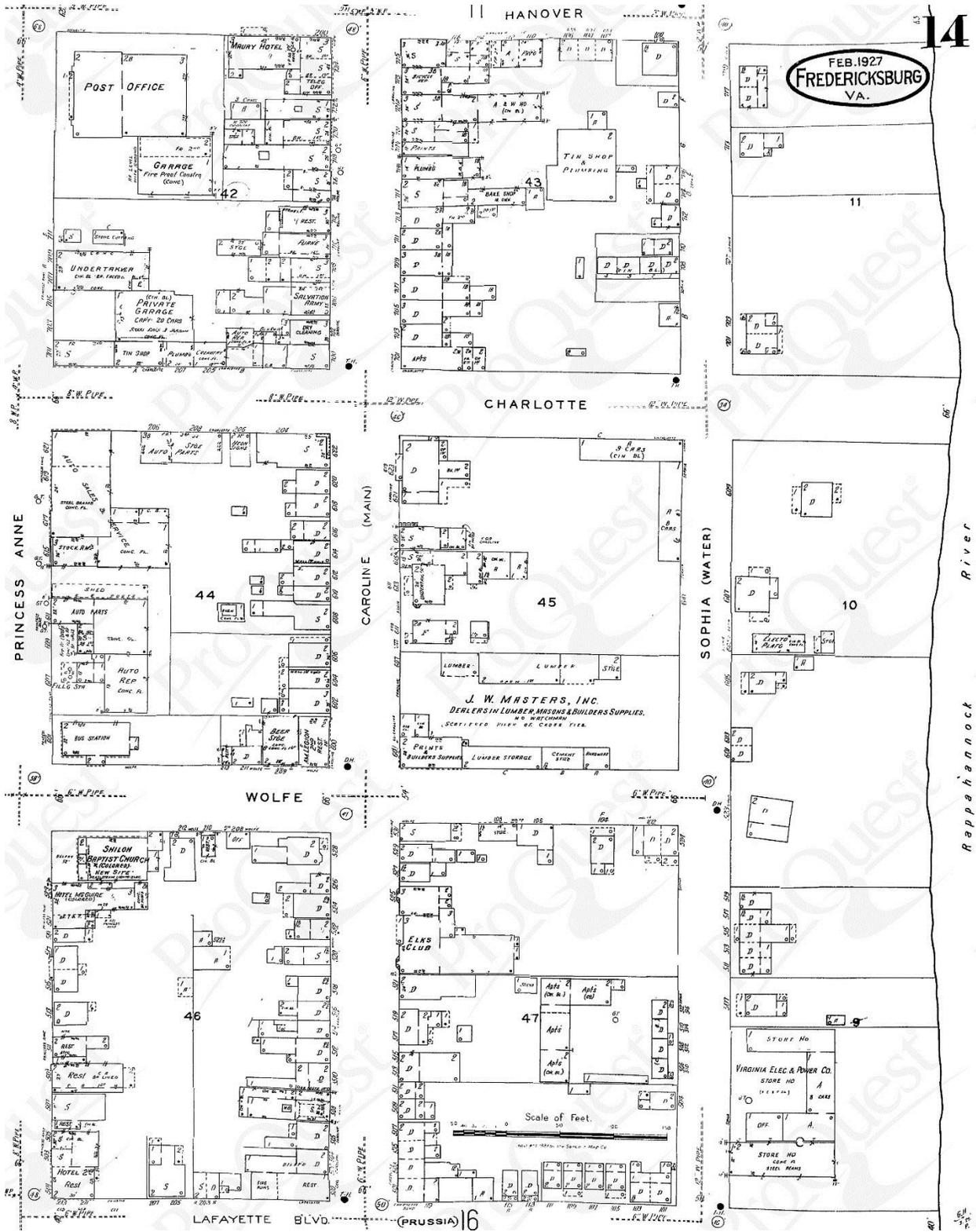
1. Aerial and Existing Front Elevation View
2. Sanborn Fire Insurance Map, c.1947
3. Photographs, Historic Precedents for Scale and Mass
4. Context Views
5. Material Samples
6. Height and Square Footage Specifications
7. Existing Site Plan
8. Proposed Site Plan
9. Elevations and Perspective Views
10. Recommended Changes/Conditions



AERIAL



FRONT (EAST) ELEVATION



Sanborn Fire Insurance Map, c.1947

Note the consistent wall of buildings sited close to the street as well as the additional buildings constructed near the center of blocks for increased density.

Historic Precedents for Scale and Mass



Note the three-and-one-half story height and side-gabled profile of the buildings at 801 Princess Anne Street (above) and 826 Caroline Street (below).



Note the three-and-one-half story height and side-gabled profile with projecting chimneys of historic buildings within the district. Clockwise, starting from top left, 725 Caroline Street, 706 Caroline Street, and 108 Charlotte Street.



Photo by Frances Benjamin Johnston, c.1927

A now-demolished brick residence located in the 700 block of Sophia Street.  
Note the three-story height and gable-roof profile with projecting chimneys.



View of Fredericksburg, c.1863

Buildings of a variety of heights and sizes were once located in this area of Fredericksburg, many topped by gabled roofs.

Project Site Context



View Looking South from Sophia and Wolfe Streets



View Looking West from Sophia and Wolfe Streets



View Looking Northwest from Sophia Street and Lafayette Boulevard



View Looking South from Caroline and Wolfe Streets

**Proposed Materials**



Wall Veneer Brick



Accent Brick



Cast Stone Veneer for Apartment Building



November 10, 2016

## **RIVERWALK SQUARE – MATERIALS LIST**

### **Roof**

- Main roof system: standing seam metal, ATAS 1" standing seam in slate grey.
- Alternate main roof system: 30 year, dimensional asphalt shingles GAF timberline HD in pewter grey.
- Gutters: aluminum gutter – white paint
- Roof balcony walls: cement board lap siding system – paint.
- Bay window roof system: standing seam metal, ATAS 1" standing seam in slate grey.

### **Windows**

- All Double Hung windows to be Aluminum-clad wood with simulated divided lights with interior space bars.
- All Half round windows to be aluminum-clad wood with simulated divided lights with interior space bars.

### **Doors**

- Front entry doors: single 6 paneled wood doors with sidelights.
- Back entry doors: single 6 paneled wood doors with sidelights.
- Balcony doors: double aluminum-clad wood patio doors with simulated divided lights and interior space bars.
- Roof balcony doors: single aluminum-clad wood patio door with simulated divided lights and interior space bars.
- Garage doors: paneled steel doors with clear glass – painted.

### **Exterior Architectural Elements**

- Main entry porch: Brick steps and landing with brick base.
- Main entry porch columns: PVC column capital and base, primed and painted. Porch trim to be molded polyurethane, primed and painted.
- Cornice: Fiberglass, primed and painted.
- All exterior trim and moulding will be molded polyurethane, primed and painted.
- Upper Balcony floor: composite deck with painted decorative metal railings.
- Door and Window opening in brick wall: brick jack arch with key stone head and brick sills.
- Door and Window opening in lap siding wall: molded polyurethane trim, prime and paint.

### **Wall Materials**

- Front and Side elevations: wood stud walls with standard brick veneer, red in color, running bond with concave mortar joint. General Shale – Buckingham Tudor with Rose Range Tudor accent (jack arch and sill).
- Back Elevation: wood stud wall with cement board lap siding, cement board trim, prime and paint.

- Bay windows walls finish: cement board lap siding with cement board trim, prime and paint.
- Rockcast Architectural Stone (at Mansion Building only) – Smooth Modular Veneer Unit in 12" x 24" size in (off-white) Reislung.

**Miscellaneous Details**

- Brick end walls will be capped with cast stone coping
- Demising walls between townhouses above roof plane will be brick and capped with painted metal coping.
- Fence and gate: Ultra UAF Aluminum 200 flat top 3 rail design with 5/8" pickets, 2" square posts with ball cap, 1-1/4" x 1-3/8" rails and decorative circle inserts in satin black powdercoat.

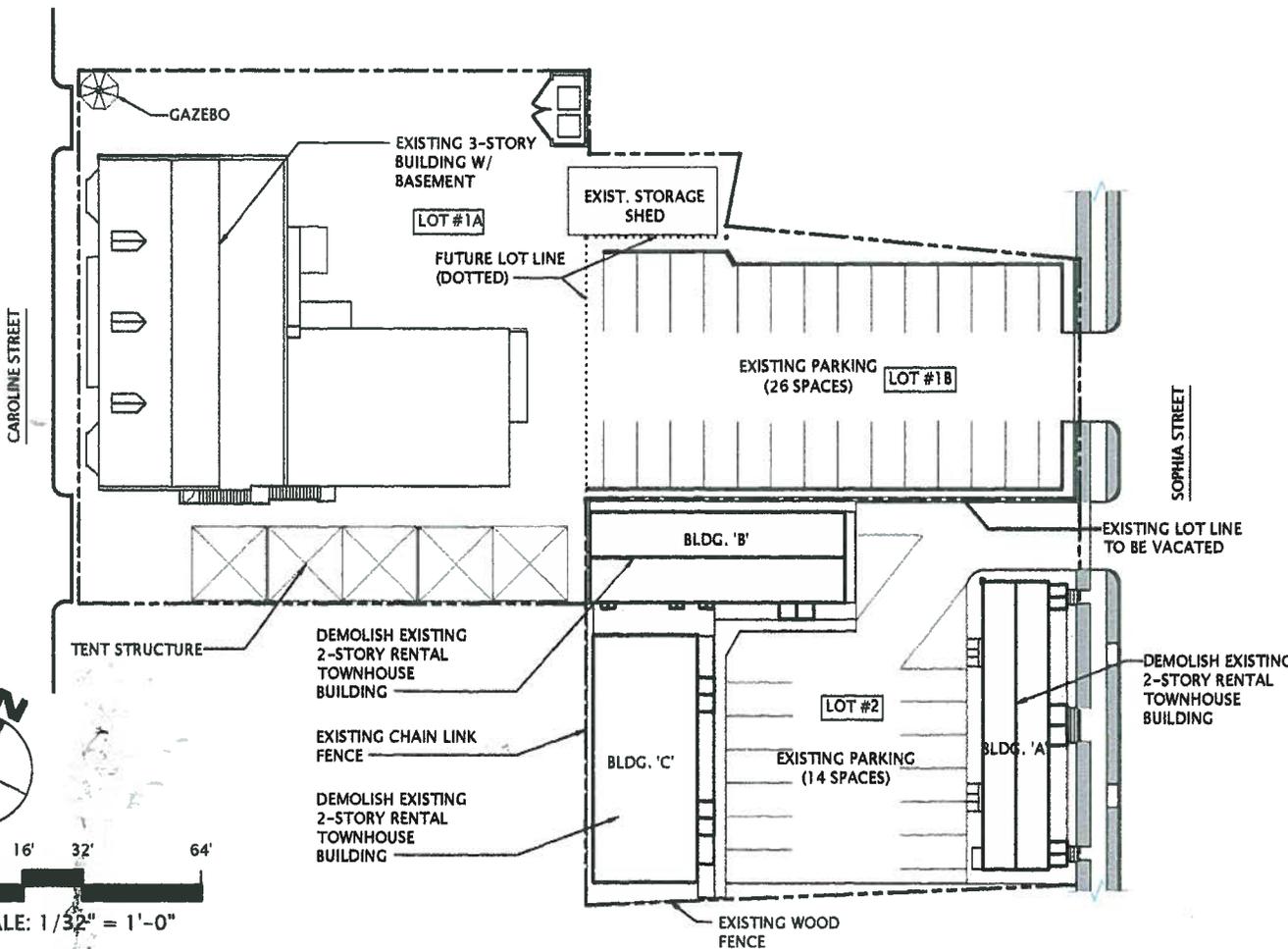
# Riverwalk Square

## Area & Height Calculations

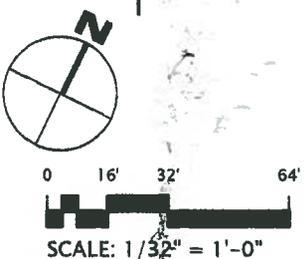
28-Nov-16

TOWNHOUSE	GROSS LIVING AREA (LEVEL 2)	GROSS LIVING AREA (LEVEL 3)	GROSS LIVING AREA (LEVEL 4)	GROSS LIVING AREA (TOTAL)	EAVE HEIGHT	RIDGE HEIGHT	SECONDARY RIDGE HEIGHT	TOWNHOMES 1-4 ROOF HEIGHT (ON SOPHIA)	AVERAGE ROOF HEIGHT
TH-1	1,180 SF	1,235 SF	593 SF	3,008 SF	35'-4"	47'-0"	-	41'-2"	41'-2"
TH-2	1,150 SF	1,190 SF	593 SF	2,933 SF	35'-4"	47'-0"	-	41'-2"	41'-2"
TH-3	1,180 SF	1,235 SF	593 SF	3,008 SF	35'-4"	47'-0"	-	41'-2"	41'-2"
TH-4	1,012 SF	1,115 SF	509 SF	2,636 SF	35'-4"	44'-4"	-	39'-10"	39'-10"
TH-5	1,083 SF	1,168 SF	440 SF	2,691 SF	35'-4"	45'-10"	-		40'-7"
TH-6	1,154 SF	1,154 SF	604 SF	2,912 SF	35'-4"	49'-0"	42'-10"		42'-2"
TH-7	1,203 SF	1,203 SF	609 SF	3,015 SF	35'-4"	49'-0"	43'-8"		42'-2"
FLAT-8	1,445 SF			1,445 SF	34'-0"	55'-6"	54'-0"		44'-9"
FLAT-9	1,200 SF			1,200 SF	34'-0"	55'-6"	51'-0"		44'-9"
FLAT-10	1,145 SF			1,145 SF	34'-0"	55'-6"	54'-0"		44'-9"
FLAT-11		1,445 SF		1,445 SF	34'-0"	55'-6"	54'-0"		44'-9"
FLAT-12		1,200 SF		1,200 SF	34'-0"	55'-6"	51'-0"		44'-9"
FLAT-13		1,145 SF		1,145 SF	34'-0"	55'-6"	54'-0"		44'-9"
FLAT-14			3,700 SF	3,700 SF	34'-0"	55'-6"	54'-0"		44'-9"

		GROSS LIVING AREA PER UNIT(AVERAGE)	EAVE HEIGHT (AVERAGE)	RIDGE HEIGHT (AVERAGE)	TOWNHOMES 1-4 ROOF HEIGHT (ON SOPHIA)	AVERAGE ROOF HEIGHT (AVERAGE)
<b>4 UNITS (ON SOPHIA)</b>		<b>2,896.3</b>	<b>SF 35.3'</b>	<b>46.3'</b>		<b>40.8'</b>
<b>14 UNITS</b>		<b>2,248.8</b>	<b>SF 34.7'</b>	<b>51.3'</b>		<b>43.0'</b>

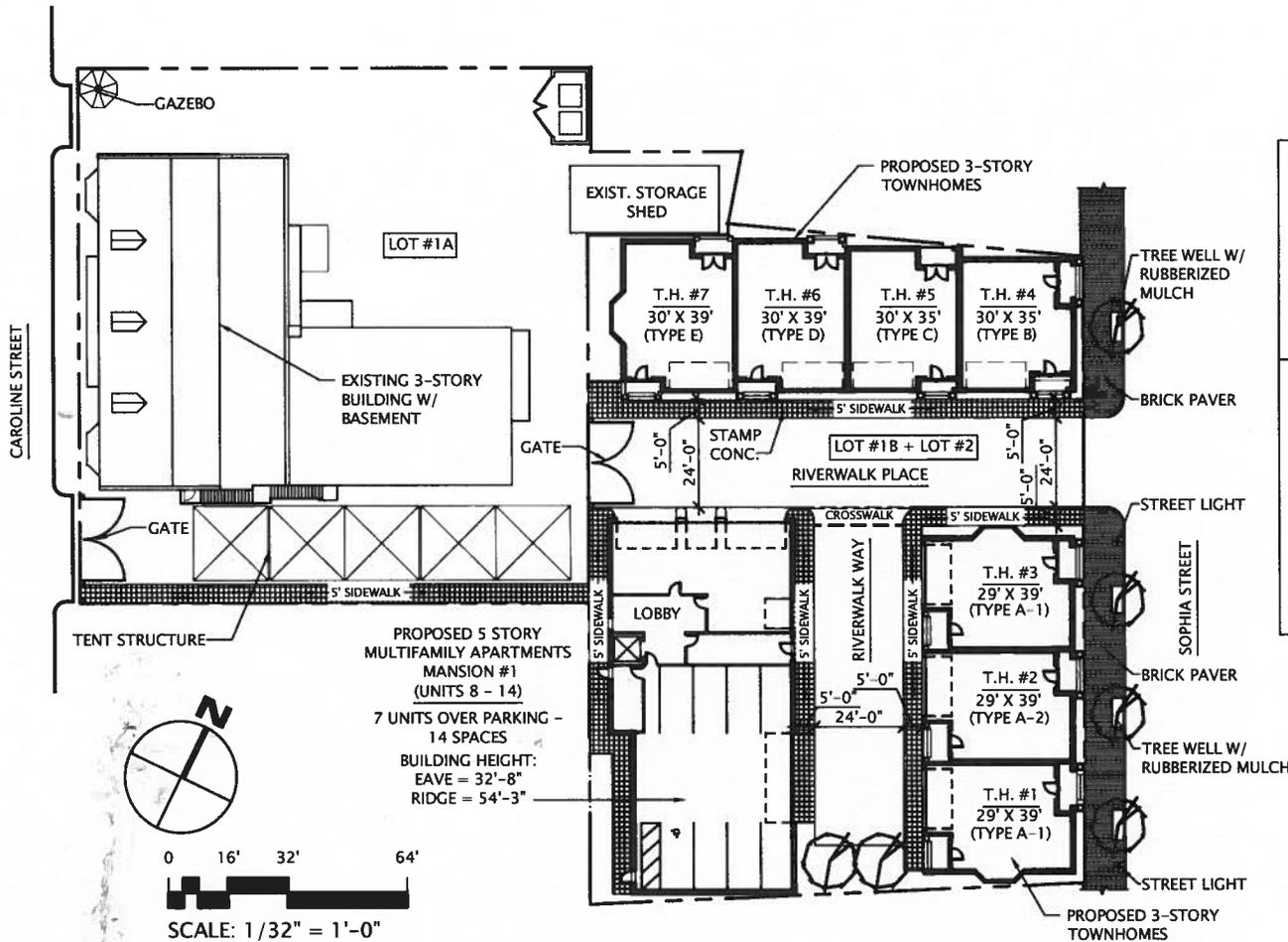


<b>LOT #1A AND LOT#1B = 28,750 SF (0.66 ACRE)</b>	
EXISTING 3 STORY BUILDING W/ BASEMENT	
BASEMENT	5,090 S.F.
FIRST FLOOR	6,888 S.F.
SECOND FLOOR	3,943 S.F.
THIRD FLOOR	3,698 S.F.
<b>TOTAL</b>	<b>19,619 S.F.</b>
<b>LOT #2 = 14,375 SF (0.33 ACRE)</b>	
EXISTING 2 STORY RENTAL TOWNHOUSE BLDGS.	
BUILDING 'A' - 4 TOWNHOUSES	
FIRST FLOOR	1,194 S.F.
SECOND FLOOR	1,194 S.F.
BUILDING 'B' - 5 TOWNHOUSES	
FIRST FLOOR	1,496 S.F.
SECOND FLOOR	1,496 S.F.
BUILDING 'C' - 4 TOWNHOUSES	
FIRST FLOOR	1,653 S.F.
SECOND FLOOR	1,653 S.F.
<b>TOTAL:</b>	<b>8,686 S.F.</b>
<b>TOTAL TOWNHOUSES:</b>	<b>13 UNITS</b>

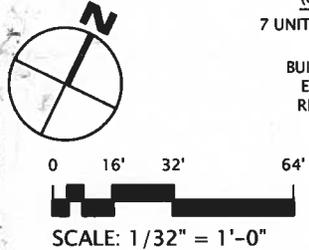


# EXISTING SITE PLAN TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA



<b>LOT #1A = 20,484 SF (0.470 ACRE)</b>	
EXISTING 3 STORY BUILDING W/ BASEMENT	
BASEMENT	5,090 S.F.
FIRST FLOOR	6,888 S.F.
SECOND FLOOR	3,943 S.F.
THIRD FLOOR	3,698 S.F.
<b>TOTAL</b>	<b>19,619 S.F.</b>
<b>LOT #1B + #2 = 23,328 SF (0.536 ACRE)</b>	
<b>PARKING REQUIREMENTS:</b>	
TOWNHOUSES: 1.5 PER D.U. X 7 UNITS =	10.5 SP.
1 PER EVERY 5 UNITS =	1.0 SP.
APARTMENTS: 1.5 PER D.U. X 7 UNITS =	10.5 SP.
1 PER EVERY 5 UNITS =	1.0 SP.
<b>TOTAL REQ. SPACES:</b>	<b>23 SP.</b>
<b>TOTAL SPACES PROVIDED:</b>	<b>28 SP.</b>



# PROPOSED SITE PLAN TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA



COMMONWEALTH  
ARCHITECTS

# SOPHIA STREET ELEVATION TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A3



MANSION FRONT ELEVATION  
TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A4



COMMONWEALTH  
ARCHITECTS

MANSION SIDE ELEVATION

# TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A5



COMMONWEALTH  
ARCHITECTS

## SOPHIA STREET PERSPECTIVE TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A6



COMMONWEALTH  
ARCHITECTS

SOPHIA STREET VIEW

# TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A7



SITE AXONOMETRIC  
**TOWNHOMES AT RIVERWALK SQUARE**

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A8



SOPHIA STREET VIEW

# TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A9



EXISTING SOPHIA STREET VIEW  
**TOWNHOMES AT RIVERWALK SQUARE**

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

**A10**



PROPOSED SOPHIA STREET VIEW  
**TOWNHOMES AT RIVERWALK SQUARE**

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A11



COMMONWEALTH  
ARCHITECTS

## EXISTING LAFAYETTE BOULEVARD VIEW FROM TRAIN TRACKS TOWNHOMES AT RIVERWALK SQUARE

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

A12



PROPOSED LAFAYETTE BOULEVARD VIEW FROM TRAIN TRACKS  
**TOWNHOMES AT RIVERWALK SQUARE**

506 - 520 SOPHIA STREET FREDERICKSBURG, VA

06/21/16

**A13**



COMMONWEALTH  
ARCHITECTS

# PROPOSED FAR VIEW FROM BROCKS TOWNHOMES AT RIVERWALK SQUARE

FREDERICKSBURG, VA

12/01/16

A14



COMMONWEALTH  
ARCHITECTS

# PROPOSED NEAR VIEW FROM BROCKS TOWNHOMES AT RIVERWALK SQUARE

FREDERICKSBURG, VA

12/01/16

A15



COMMONWEALTH  
ARCHITECTS

PROPOSED CENTER VIEW  
TOWNHOMES AT RIVERWALK SQUARE

FREDERICKSBURG, VA

12/01/16

A16



COMMONWEALTH  
ARCHITECTS

## PROPOSED WOLFE STREET VIEW TOWNHOMES AT RIVERWALK SQUARE

FREDERICKSBURG, VA

12/01/16

A17

## RECOMMENDED CHANGES

Eliminate the portion of the third-floor cornice that wraps around the side walls of townhomes 1, 3, and 4 to avoid interrupting the gable-end profile.



Use a single window and door, rather than paired units, at the far north end of the apartment building front elevation. The paired units appear too wide for this location.

Use carriage-style garage doors at the ground floor of the apartment building.



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for fence installation at 605 Sophia Street

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### ISSUE

Jim Wink requests to install a six foot tall solid wood fence along the north side of this residential property.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted. Consideration should be given to painting pressure-treated wood once it has weathered sufficiently.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Site Planning – Fences and Walls (Historic District Handbook, pg.71-72)*

#### Construction Guidelines

1. Fence and wall materials and design should relate to those found in the neighborhood.
2. Old fencing should be removed before a new fence is installed.
3. Fences between adjoining commercial and residential areas should be of a design that relates to the residential area.

### BACKGROUND

This residence on the east side of Sophia Street was constructed between 1919 and 1927 and displays elements of the Colonial Revival and Craftsman styles. Two stories in height and constructed of wood, the dwelling is topped by a hipped roof, rests on a parged foundation, and is clad in weatherboard siding. Character-defining features include the full-width, hip-roofed porch with brick piers and battered wood posts, six-over-six double-hung wood windows, and an interior brick chimney. This is a contributing structure in the Historic District.

The applicant proposes to install fencing along a portion of the north side of the property. A six-foot tall wood privacy fence is already in place along the north side property line, and extends approximately 135 feet from the front of the house to the middle of the site. The new fence will be six feet in height, constructed of pressure-treated wood, and will extend 100 feet from a point near the middle of the north side property line to the Rappahannock River. The fence is minimally visible from the public right-of-way and from the neighboring City-owned parking lot. The fence material and style is in accordance with the Historic District guidelines and will not have an adverse impact on the historic significance of the site or

the district. Approval of the request as submitted is recommended, with the additional recommendation that consideration should be given to painting pressure-treated wood once it has weathered sufficiently.

### **APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

		X	(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.
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Attachments:

1. Aerial photograph and front elevation view
2. Plat and aerial, showing fence location
3. Photograph, proposed fence design and site location

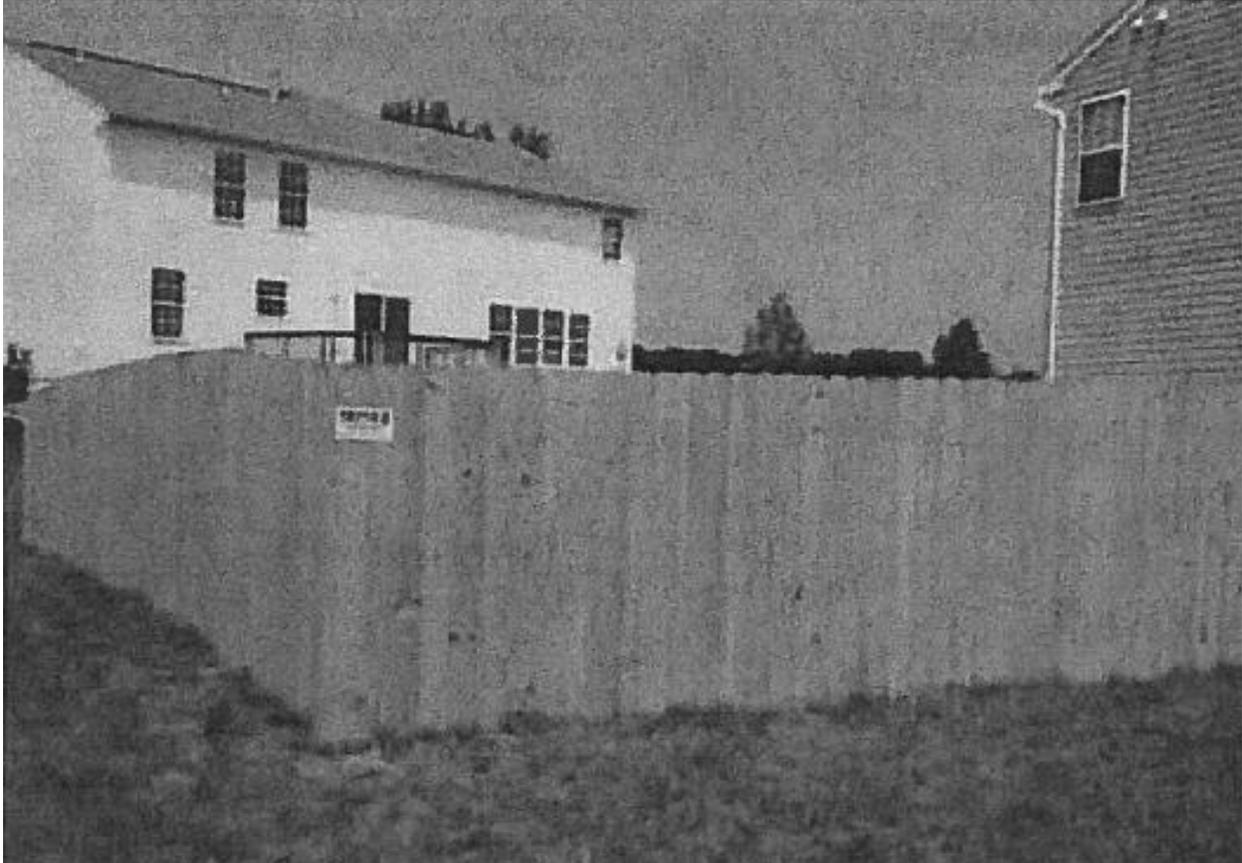


AERIAL



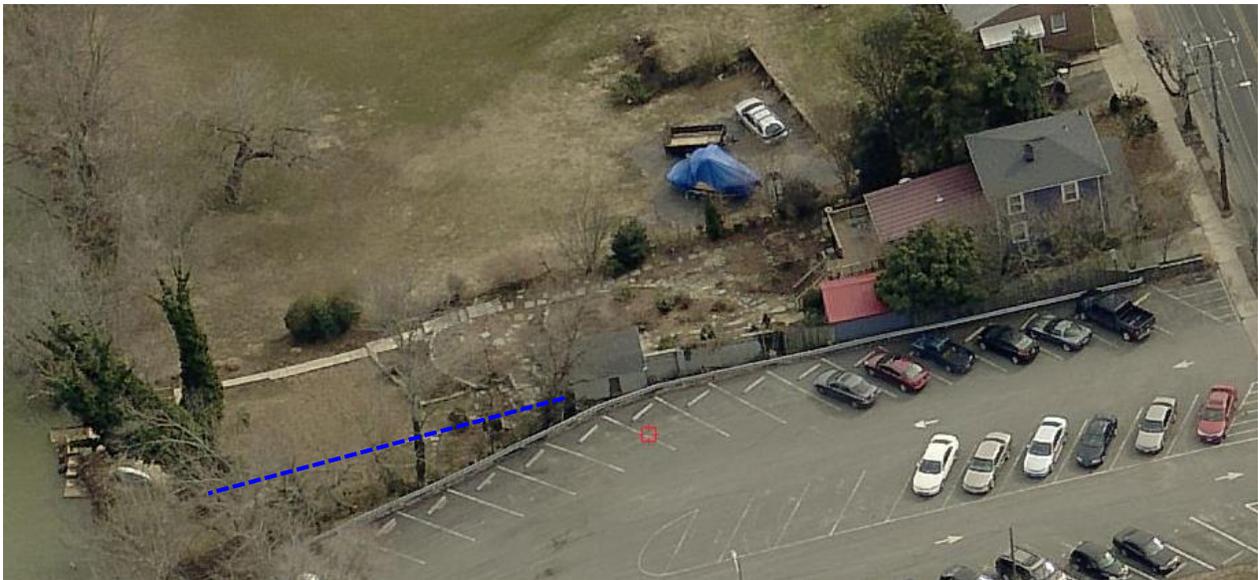
FRONT (WEST) ELEVATION





Proposed Fence Design

Six feet tall, constructed of pressure-treated lumber with dog-eared profile at the top.



Dashed blue line shows approximate fence location



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for sign installation at 1006 Caroline Street

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### ISSUE

Alona Orofino requests to install signs for the Il Mercato business including a projecting sign and window decals.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1(D)4 *Signs*

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) Placement.
  - [1] The sign shall be integrated architecturally with the building.
  - [2] Placement should not obscure significant architectural features or details of the building.
  - [3] A sign should be placed only at a location within the HFD at which the announced business or activity takes place.
- (b) Lettering.
  - [1] The sign should be legible.
  - [2] The style and lettering of the sign should be appropriate to the structure, the business and the streetscape.
  - [3] The lettering size should be in proportion both to the sign and the building.
- (c) Color.
  - [1] The colors of the sign should relate to those of the building.
  - [2] The sign should not have so many colors that they detract from the strength of the visual image.
- (d) General standards.
  - [1] Signs attached to windows announcing sales, etc., are discouraged as incompatible with the character of the HFD.
  - [2] All signs shall meet the requirements of § 72-59, Signage.

*Signs (Historic District Handbook, pg.117-118)*

1. A sign should fit the architecture of its building and not obstruct defining elements.

2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

**BACKGROUND**

The structure at 1006 Caroline Street is an Art Deco commercial building, two stories in height with a flat roof and solid foundation. Constructed for Shelton & Truslow Dry Cleaners between 1930 and 1933, the east-facing front elevation features a decorative brick cornice and patterned brickwork. Four wood six-over-six double-hung windows with brick lintels are spaced evenly across the upper story, while a plate-glass commercial storefront occupies most of the ground floor façade. The inset entrance at the north end of the front elevation provides access through a wrought-iron gate to a brick courtyard. This is a contributing structure in the Historic District.

Orofino restaurant currently occupies the courtyard and space at the far north end of this building and will be expanding into the ground level storefront. Several new signs will be installed for this business. A 36-inch wide by 24-inch tall sign will hang from the existing metal bracket above the door. The sign is constructed of aluminum panels with printed graphics and a corrugated plastic core. Three decals will be installed across the center of the transom windows above the storefront. The sign allowance for this storefront is based on 20 linear feet of building frontage. The sign allowance is calculated as follows:

$$20 \text{ linear feet} \times 1.5 = 30 \text{ square feet}$$

Sign Type	Dimensions	Area (square feet)
Transom Window Decals	(3) 60 inches x 12 inches	15
Projecting Sign	36 inches x 24 inches	6
		<b>Total = 21</b>

The total area of the signs installed is 21 square feet which is under the allowance for this site of 30 square feet. The sign materials and styles are compatible with the historic character of the District, are minimally invasive, and do not have an adverse impact on the historic significance of the structure. Approval of the request as submitted is recommended.

**APPROVAL CRITERIA**

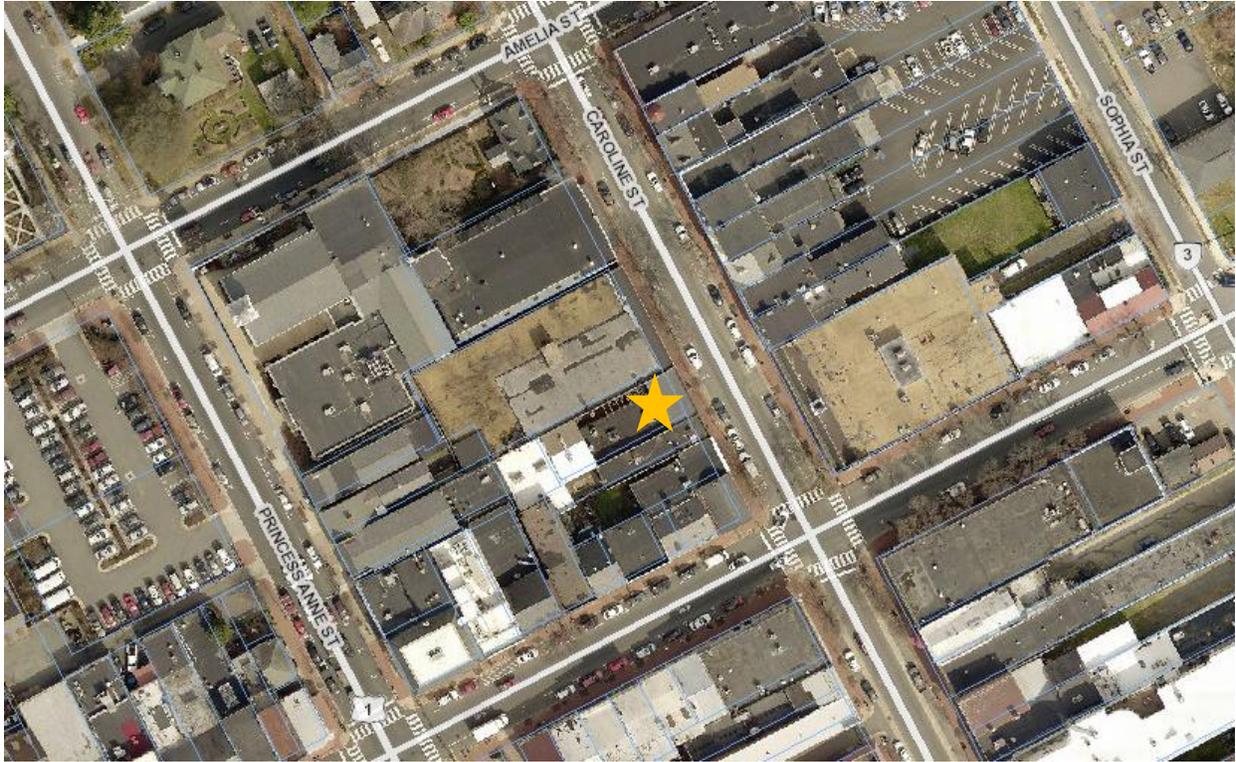
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

S	D	NA	S – satisfies	D – does not satisfy	NA – not applicable
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site		

			and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
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		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

1. Aerial photograph and front elevation view
2. Sign Specifications



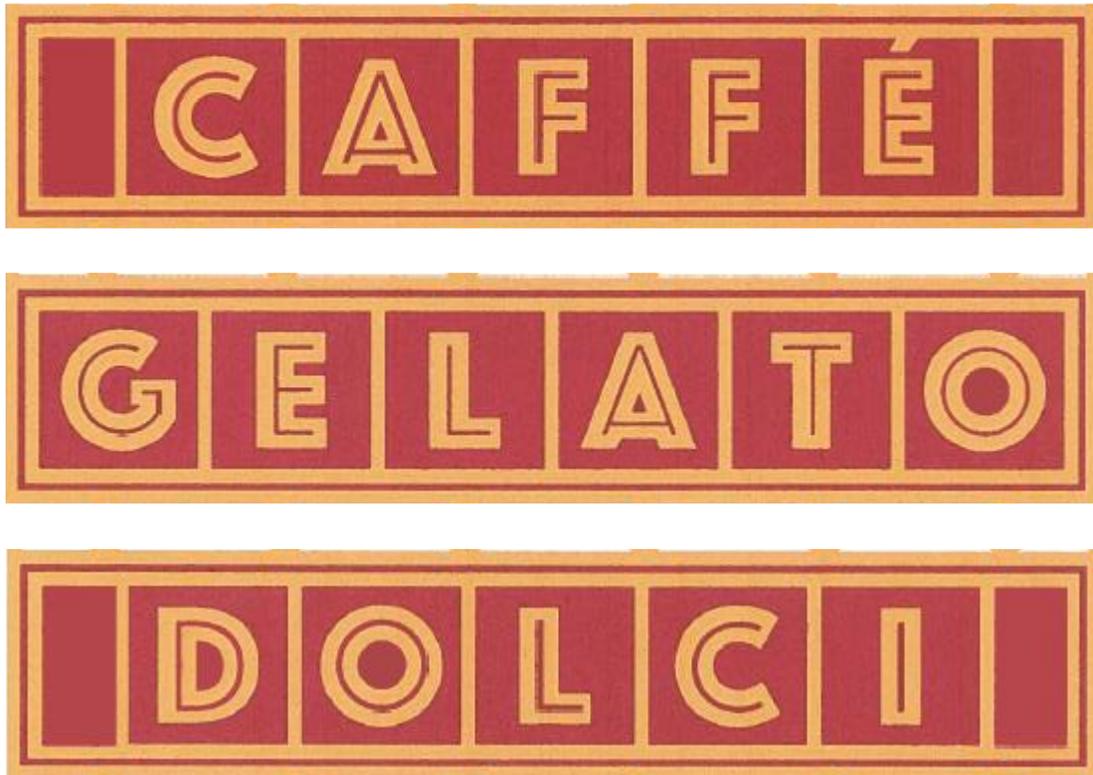
AERIAL



FRONT (EAST) ELEVATION



**Sign Panel Is Alumilite @ .5" Thick**  
**(2) Aluminum Panels With Corrugated Plastic Core**  
**Printed Graphics (as Shown) On Both Sides**  
**Existing Hanging Bracket In Place**



5 foot by 2 foot decals will be placed at the center of each transom window, as in the image below. The additional patterned decals above and below the block letters are no longer proposed.





## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 714-716 Caroline Street

---

### ISSUE

Brian Lam requests to replace the iron entry gate at the front elevation of this commercial building with a solid wood six panel door.

### RECOMMENDATION

Approval of the request as submitted is recommended on condition that the door panels are proportioned correctly for the size of the door. For example, a standard door cut down to the width of the opening will have stiles that are too narrow in comparison to the center mullion.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Doorways (Historic District Handbook, pg.89-90)*

1. Retain original doors.
4. Avoid changing the number, location, or size of doors by cutting new openings, enlarging existing openings, blocking in door openings, or installing replacement doors that do not fit the original openings.
5. Uncover and repair covered-up doors. If a door is no longer needed for its intended use, it should be fixed in place. In these instances, any glass can be frosted or painted black, or the door shuttered or screened (as appropriate) so it appears from the exterior to be used.
6. Reuse serviceable door hardware and locks, as practicable. If replacement is necessary, ensure new hardware is compatible with the old.

### BACKGROUND

Constructed c.1839, this two-story, five-bay commercial building is constructed of brick laid in Flemish bond and is topped by slate-clad side-gabled roofs. The variation in roof height shows that the two halves of the building were likely constructed at different times. Fenestration on the second story consists of six-over-six double-hung sash wood windows with stone sills and splayed stone lintels with keystones. The street-level storefront is demarcated by an applied wood veneer of flat pilasters supporting a full entablature with projecting cornice. The storefront also features single-leaf glazed entry doors with four-light transoms and fixed multi-light display windows. Building permits indicate that the storefront was rebuilt in July 1958. This is a contributing structure in the Historic District.

At the far north end of the storefront, an iron gate provides access to a brick passageway running through the building. The opening is framed in wood and topped by a three-light transom. The applicant proposes to replace the iron gate with a solid wood six-panel door to reduce exposure to the elements and weathering of the brick in the passage. Hardware and previous attachment points for a door are clearly visible on the frame, and the 2006 architectural survey report describes a paneled wood door at this entry. No changes will be made to the frame or opening, and the new door will be sized to fit the existing doorway. The door handle and hardware will match the Skin Touch Therapy entry doors. The existing gate is not a historically significant feature of the building and was installed within the last ten years. A 1979 building elevation shows a six-panel wood door at the passage entrance and likely dates to the 1958 rebuild of the storefront.

The proposed alteration will not have an adverse impact on the historic significance of the building or the district, and the door design is compatible with the historic character of the site. Approval of the request as submitted is recommended on condition that the door panels are proportioned correctly for the size of the door. For example, a standard door cut down to the width of the opening will have stiles that are too narrow in comparison to the center mullion.

#### **APPROVAL CRITERIA**

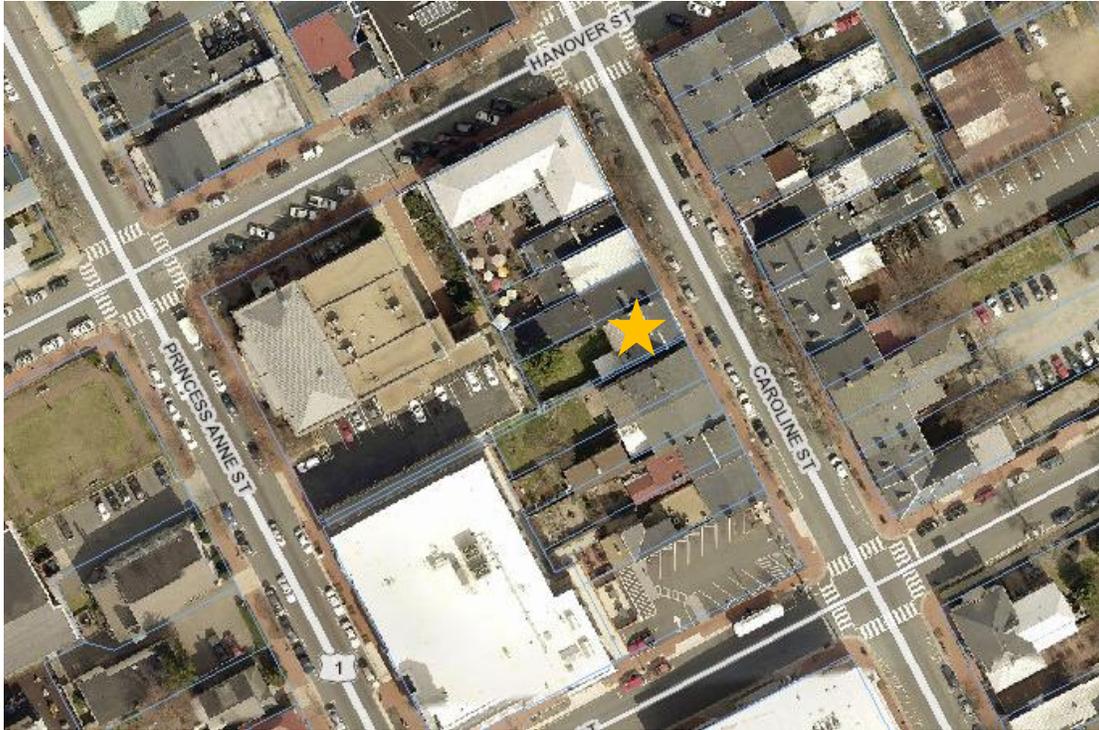
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			should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
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X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Letter from applicant
3. Photographs, existing conditions
4. Door rendering
5. Proposed door hardware
6. Front elevation drawing, c.1979



AERIAL



FRONT (EAST) ELEVATION

December 15, 2016

Architectural Review Board  
City of Fredericksburg  
715 Princess Anne Street, Room 209  
Fredericksburg, VA 22401

Dear Members of the Architectural Review Board,

This application is to request the approval of installation of a wood door on the façade of 714-716 Caroline Street. Currently there is a metal gate at the entrance of the covered alleyway. Replacing it with a solid door will help preserve the brick in the interior space. It is currently damaged due to excess exposure to the elements of wind and moisture. Enclosure of the alleyway will help reduce this exposure and resultant damage. There is hardware and mortised areas on the door jamb that indicate a solid door had been installed previously, so this change would be restoring what was there before. Please review enclosed photos and rendering.

Thank you for your consideration.

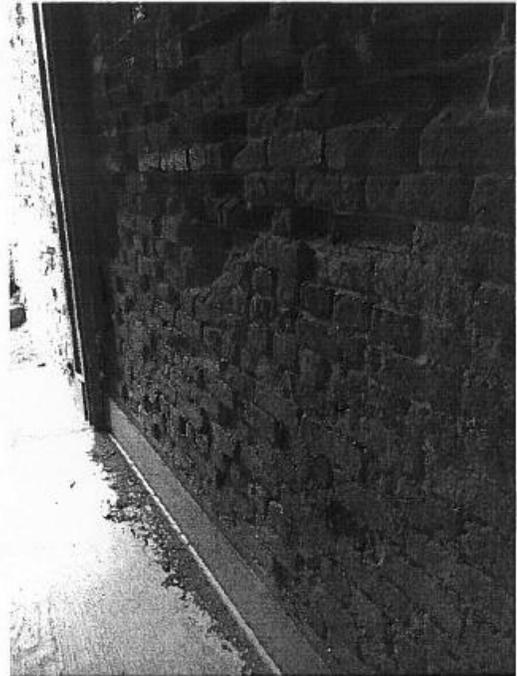
Sincerely,

A handwritten signature in black ink, appearing to read "Brian Lam", written in a cursive style.

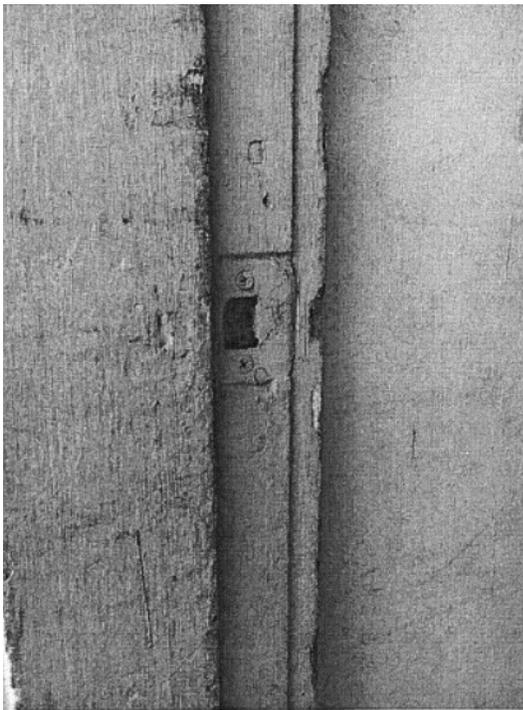
Brian Lam  
Skin+Touch Therapy Spa  
714 Caroline Street  
Fredericksburg, VA 22401



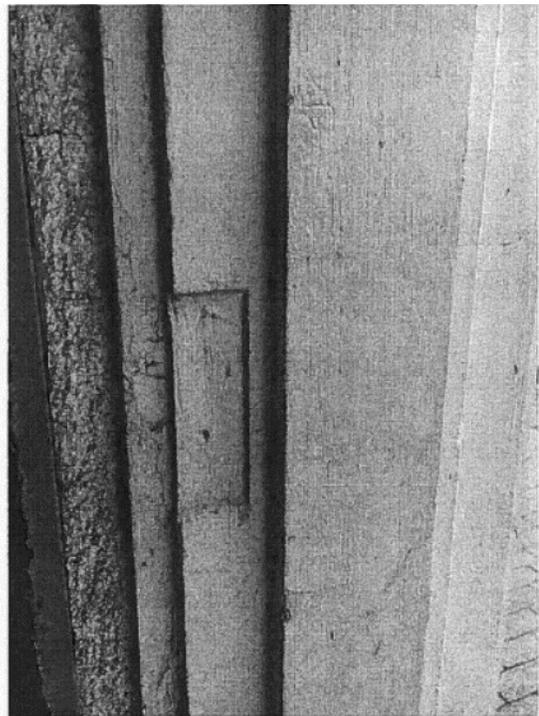
Current view with gate



Brick damage due to wind and moisture

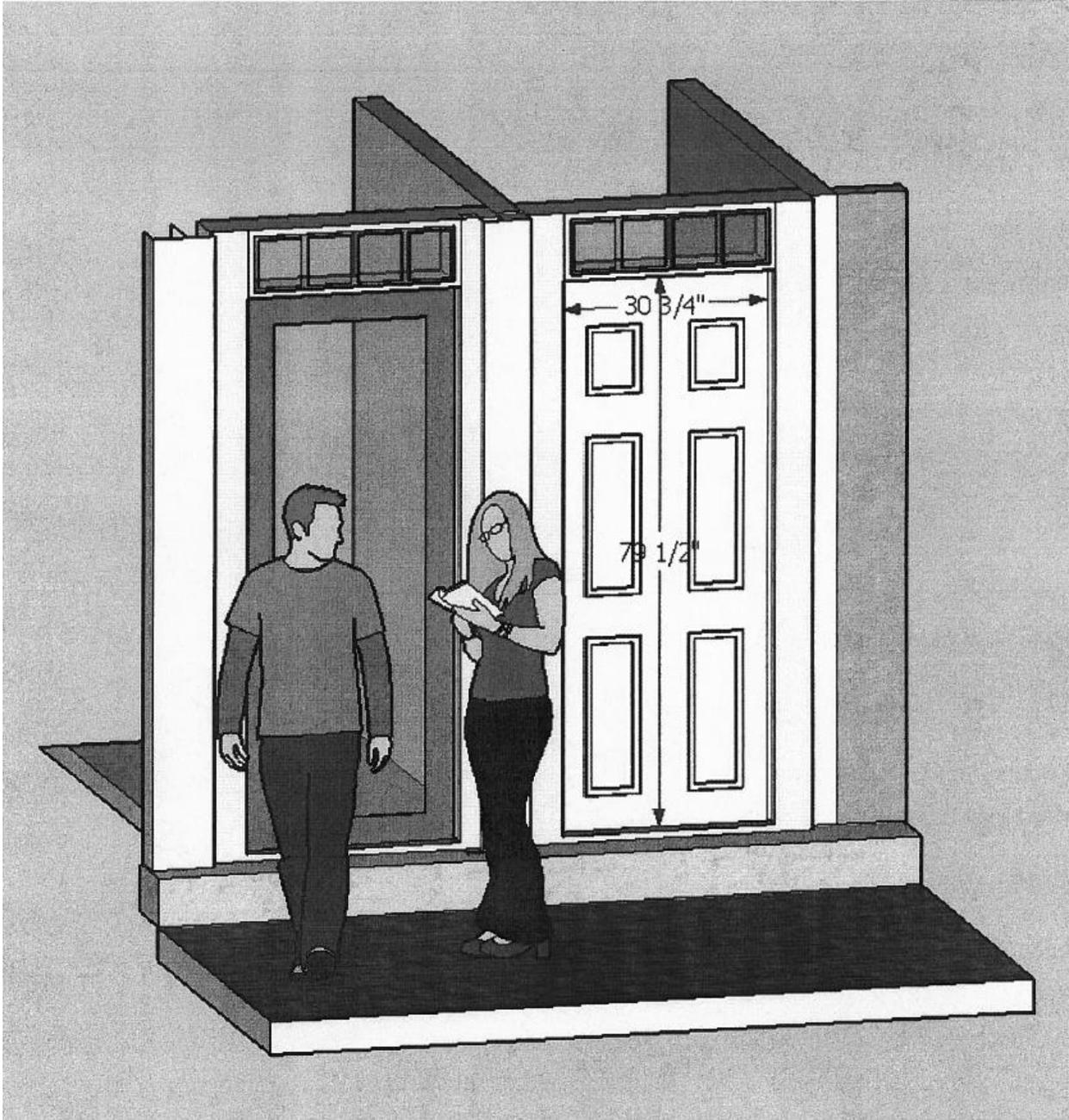


Door Hardware - Indicates a door was there previously there.



Hinge Mortise - Indicates a door was there previously there.

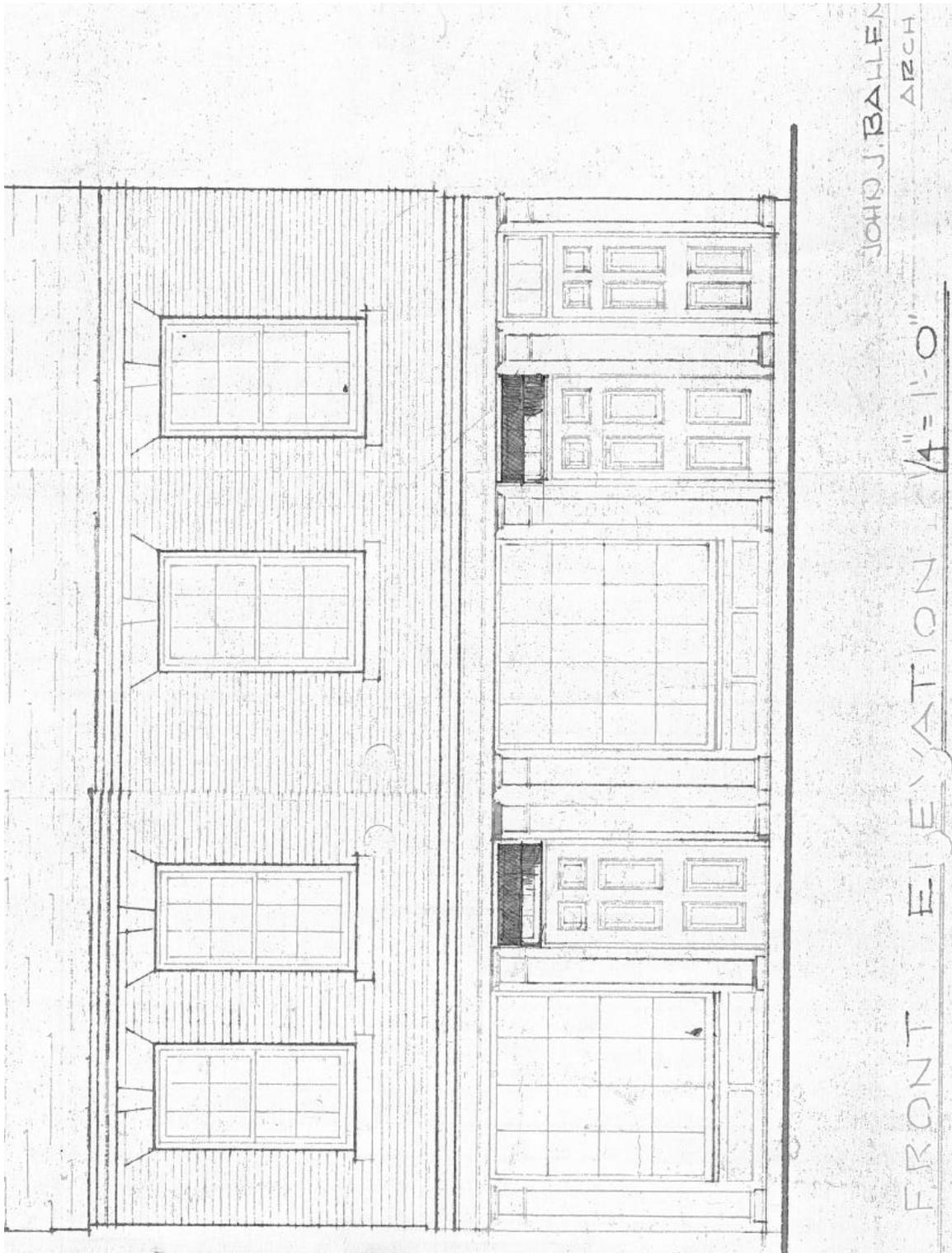
Images submitted by applicant.



Rendering submitted by applicant.



The proposed door hardware will match the existing entry doors at 714-716 Caroline Street.



Front Elevation Rendering, c. 1979



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for exterior alteration/accessory structure at  
 413 Princess Elizabeth Street

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### ISSUE

Eric Jensen requests to install a new wood shed at the northeast rear corner of this residential property, and to install a new gutter and downspout at the front elevation.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Exterior Architectural Elements – Porches and Steps (Historic District Handbook, pg. 96)*

3. Ensure water runs off porches rather than forming puddles on porch surfaces.

*Roofs – Maintenance and Repair (Historic District Handbook, pg. 79)*

1. Inspect roofs periodically for signs of deteriorated roofing materials as well as deteriorated or improperly functioning flashing, gutters, and downspouts.

*Standard 9.* New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*Standard 10.* New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### BACKGROUND

This residence at the corner of Princess Elizabeth and Prince Edward Streets was constructed c.1880 in the Folk Victorian style. The two-story dwelling features a one-story wing projecting off the east side elevation, with both sections clad in side-gabled roofs. Character-defining features include curved exposed rafter tails, jigsaw cut decorative bargeboards, and a flat-roofed entry porch with decorative details such as chamfered posts, jigsaw cut side rails, and dentils and modillions trimming the frieze. A wide brick chimney is located at the east side of the two-story section. Six-over-six and six-over-one double-hung sash windows are typical. An intersecting gable-roofed addition projects north off the rear elevation and was approved by the ARB in June 2006.

The applicant proposes to install a half-round painted white aluminum gutter along the front edge of the roof at the front elevation, and a round white aluminum downspout at the southwest corner. The applicant is requesting to install the gutter to help protect the flat porch roof below from moisture damage as a result of pooling water. The proposed gutter is a minimally invasive alteration that will help to prevent deterioration of a character-defining feature of the residence. Approval of the request as submitted is recommended.

The applicant is also proposing to install a wood shed on the rear northeast corner of the property. The proposed shed is 16 feet long, 8 feet wide, and 8 feet tall measured to the roof peak. The shed is constructed of wood with vertical board siding and a gable roof clad in asphalt shingles. The east wall of the shed will align with the east side wall of the house, and the shed will be set 5 feet in from the north rear property line. One four-over-four double-hung window will be located on each of the north, south, and east elevations. Paired barn-style wood doors will provide access on the south elevation. A small vent is located in each gable end.

Fredericksburg’s *Historic District Handbook* does not provide specific guidelines for the construction of new accessory structures, but the City of Richmond’s *Design Review Guidelines* provide guidance that aligns with Fredericksburg’s Historic District standards:

1. Outbuildings, including garages, sheds, gazebos and other auxiliary structures, should be compatible with the design of the primary building on the site, including roof slope and materials selection.
2. Newly constructed outbuildings such as detached garages or tool sheds should respect the siting, massing, roof profiles, materials and colors of existing outbuildings in the neighborhood.
3. New outbuildings should be smaller than the main residence and be located to the rear and/or side of the property to emphasize that they are secondary structures.
4. Prefabricated yard structures are discouraged. Screening will be considered as a mitigating factor for the installation of these structures. However, prefabricated structures will still be reviewed for compatibility.

The location and design of the proposed shed is compatible with the materials and design of the primary residence, and with the siting of similar structures throughout the neighborhood. The proposed construction will not have an adverse impact on the historic significance of the site or the district and approval as submitted is recommended.

**APPROVAL CRITERIA**

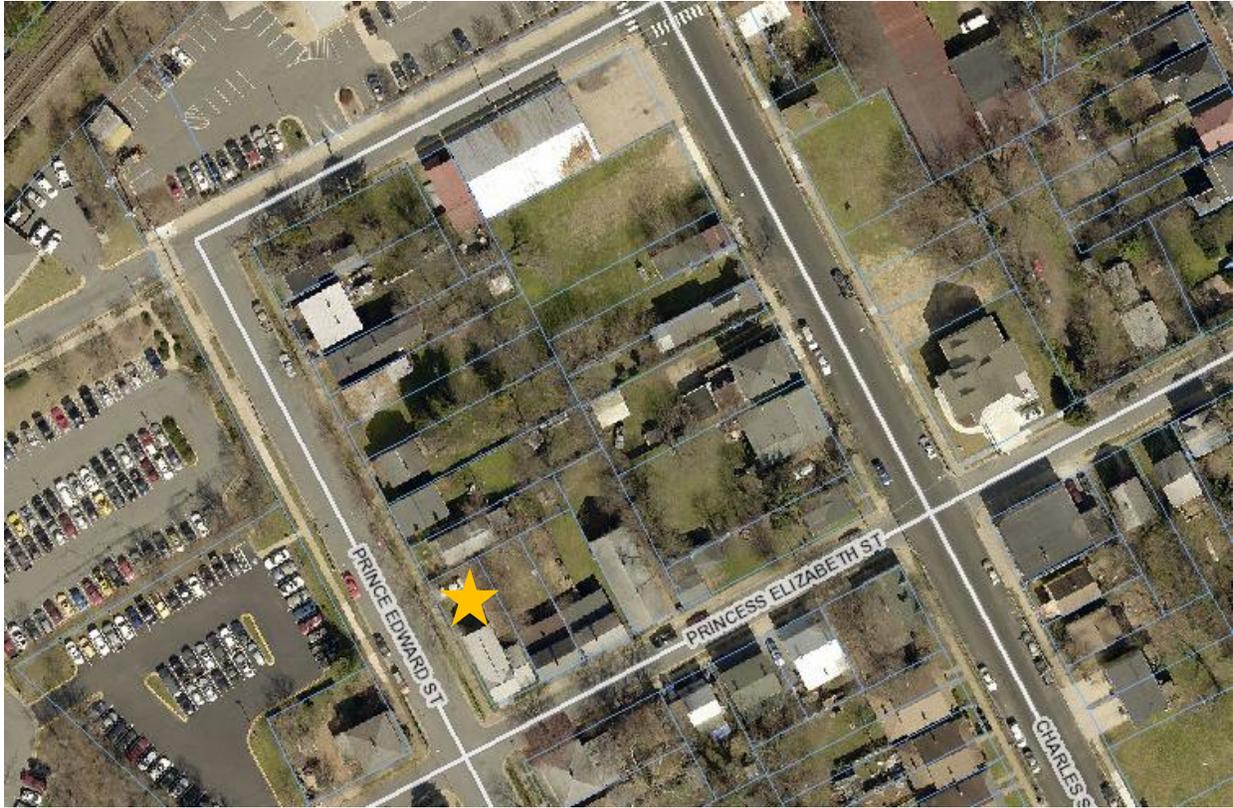
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.

X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

1. Aerial photograph and front elevation view
2. Plat, showing gutter and shed locations
3. Front elevation view and gutter/downspout specifications
4. Photograph, shed location
5. Shed Elevation Photographs



AERIAL



VIEW LOOKING NORTHEAST





## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for relocation and/or demolition at 1210 Sophia Street

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### ISSUE

The City of Fredericksburg requests permission to move this residential structure to a site within the city limits. Proposals for relocation of the structure will be accepted during an advertised five-month period. If no proposals are received, the City requests to demolish the structure.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request on condition that the building is documented before relocation or demolition.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1 D(3): *Demolition, Removal or Relocation*

- a. No historic landmark, building or structure within the HFD shall be razed, demolished, or moved until the razing, demolition or moving thereof is approved by the ARB. In determining the appropriateness of any application for the razing, demolition, or moving of a building or structure, the ARB shall consider the following criteria:
- (1) The architectural significance of the building or structure.
  - (2) The historical significance of the building or structure.
  - (3) Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.
  - (4) The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.
  - (5) The condition and structural integrity of the building or structure, as indicated by documentation prepared by a qualified professional or licensed contractor, or other information, provided to the board for examination. The City Manager may obtain an assessment from a qualified professional or licensed contractor to assist the ARB or City Council in rendering a decision.
  - (6) Effect on surrounding properties.
  - (7) Inordinate hardship. This inquiry is concerned primarily with the relationship between the cost of repairing a building or structure and its reasonable value after repair. An inordinate hardship is an instance when preservation will deprive the owner of reasonable economic use of the property.

- b. In addition to the right of appeal set forth in Subsection E below, the owner of a historic landmark, building, or structure, the razing or demolition of which is subject to the provisions of this section, shall, as a matter of right, be entitled to raze or demolish such landmark, building, or structure, provided that the following three conditions are met:
- (1) The owner has applied to the City Council for a demolition permit;
  - (2) The owner has, for the period of time set forth in the time schedule contained in this section and at a price reasonably related to its fair market value as determined by an independent appraisal, made a bona fide offer to sell such landmark, building, or structure and the land pertaining thereto to the City or to any entity which gives reasonable assurance that it is willing to preserve and restore the landmark, building, or structure and the land pertaining thereto. Unless the ARB and the owner agree upon the fair market value, the City Manager may retain one independent, qualified appraiser. If the independent appraisal does not resolve the disagreement, then the City and the owner shall retain a third qualified appraiser. A median value shall be established by the three appraisers, which shall be final and binding upon the owner and the City; and
  - (3) No bona fide contract, binding upon all parties thereto, shall have been executed for the sale of any such landmark, building, or structure and the land pertaining thereto, prior to the expiration of the applicable time period set forth in the time schedule contained in this section. Any appeal which may be taken to court from the decision of the City Council, whether instituted by the owner or by any other proper party, notwithstanding the provisions heretofore stated relating to a stay of the decision appealed from, shall not affect the right of the owner to make the bona fide offer to sell referred to in this subsection. No offer to sell shall be made more than one year after a final decision by the City Council, but thereafter the owner may renew his request to the City Council to approve the razing or demolition of the historic landmark, building, or structure. The time schedule for offers to sell shall be as follows:
    - (a) Three months when the offering price is less than \$25,000;
    - (b) Four months when the offering price is \$25,000 or more but less than \$40,000;
    - (c) Five months when the offering price is \$40,000 or more but less than \$55,000;
    - (d) Six months when the offering price is \$55,000 or more but less than \$75,000;
    - (e) Seven months when the offering price is \$75,000 or more but less than \$90,000; and
    - (f) Twelve months when the offering price is \$90,000 or more

### **BACKGROUND**

This two-story, wood-framed dwelling is clad in weatherboard siding and displays elements of the Colonial Revival and Craftsman styles in its simple form, open eaves, and full-width front porch. Topped by a hipped roof clad in asphalt shingles, the structure rests on a stretcher-bond brick foundation. A hipped roof also covers the projecting front porch and is supported by brick piers topped with battered wood posts. A simple picket balustrade surrounds the front porch. A 1984 photograph shows that the rafter tails were previously exposed under the porch and roof eaves, but have since been boxed in with simple framing. The front porch was added between 1927 and 1947, and a building permit indicates that an addition of “four frame rooms” was added to the rear of the house in 1953. The change in siding materials, from wood to asbestos shingle, appears to delineate the added section. The wood windows were

replaced by vinyl in 1992 without permission of the ARB. A COA for the replacement was granted after the fact.

Previous survey reports estimated a construction date c.1910; however, land tax records, title documents, and Sanborn Fire Insurance maps indicate that the structure was built in 1894. Gilbert C. Walker, an iron worker, first appears as owner of the property in the 1894 land tax records with the note “house added.” Members of the Walker family are included in census records and city directories at this address for nearly 100 years, with Gilbert’s daughter Nancy Walker Carneal listed as the property owner on a 1984 survey. The 1896 and 1902 Sanborn maps show only one dwelling on the west side of the 1200 block of Sophia Street. The location of the structure shifts over one lot from the 1896 to 1902 maps; however, the structure is the same general size and configuration on each map. It is most likely that the same structure is depicted on both maps with the variation occurring as a result of changing street names and house numbers.

The City of Fredericksburg purchased this home in October 2006 for \$330,000, with the Central Rappahannock Regional Library contributing \$50,000 towards the purchase price. The Central Rappahannock Regional Library has both short and long-term plans for the use of this property. The site will be used to expand the existing parking lot on an interim basis. The existing parking lot at the rear of the Headquarters Branch is usually full from the demand of patrons and employees, necessitating the use of on-street parking on Caroline Street and in front of residential homes throughout the surrounding neighborhood. The lots at 1208 and 1210 Sophia Street combined will add 8,205 square feet to the parking area at the rear of the library. The library also has a long-term plan for all of their property that involves demolition of the existing annex, expansion of parking, and construction of a multi-story addition to house a performance/auditorium space and other facilities.

<p><b>The architectural significance of the buildings.</b></p>	<p>The dwelling displays elements of the Colonial Revival and Craftsman styles in its character-defining features, including its simple form, open eaves, and full-width front porch with brick piers and battered wood posts.</p>
<p><b>The historical significance of the buildings.</b></p>	<p>Constructed in 1894, this modest dwelling is representative of a time of economic recovery and expansion of middle-class residential housing in areas away from the city’s downtown core. This home was occupied by members of a single family from 1894 to 1986 and was the earliest residence constructed on this block of Sophia Street.</p>
<p><b>Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.</b></p>	<p>The historic context of this block of Sophia Street has largely been lost and there is little concentration or continuity of historic structures at this location.</p>

<p><b>The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.</b></p>	<p>The Comprehensive Plan calls for keeping Fredericksburg’s historic buildings intact and in use; however, demolition of this building is specifically called for in the Comprehensive Plan in order to support the library. Removal of the building is proposed in order to enhance use of the Central Rappahannock Regional Library and promote the continued preservation of the highly significant headquarters building at 1201 Caroline Street. The short and long-term goals for this property are specifically addressed in the City’s Comprehensive Plan (pg. 48):          “To better serve the region, the library staff has developed a long-range plan to expand the well-used headquarters building. The library owns a building at 1208 Sophia Street and the City owns the adjacent 1210 Sophia Street. These structures as well as the existing library annex will be removed and converted to parking, to be accessible from both Caroline and Sophia Streets. The existing parking behind the library will be vacated, to allow construction of an addition to the main library building, to provide an improved and larger auditorium and other public spaces.”</p> <p>The City may or may not be able to fund the long-range capital improvement in the immediate future, but the City also has a short-term need to provide for additional parking in the library area. The library is located in an area of the City that is zoned C-T, Commercial Transitional. The library is often thought of as “downtown” but in terms of parking needs, the applicant submits that parking by patrons and employees at the library is more accurately described as a “Neighborhood Parking” issue, in that the lack of spaces in the library parking lot creates heavy demand for on-street parking on surrounding streets that include a mix of small businesses and houses. Removal of the buildings and construction of additional parking for the library will both support the short and long-term goals of the library and provide relief to the neighborhood from parking demand, which is a goal of the Comprehensive Plan.</p>
<p><b>The condition and structural integrity of the building or structure.</b></p>	<p>In general, the exterior is in fair condition, and the interior is in good condition. No significant structural issues are readily visible, and it appears that the dwelling could be reasonably rehabilitated.</p>

<p><b>Effect on surrounding properties.</b></p>	<p>The removal of the structure located at 1210 will have a positive impact on the continued adaptive reuse of the Central Rappahannock Regional Library Headquarters located at 1201 Caroline Street, which is a major contributing structure in the historic district. The library received the building from the City in 1969, and it has been actively used and maintained by the library since that time. Constructed as the Fredericksburg High School in 1908, the library is the largest structure on the block bounded by Caroline Street, Sophia Street, Lewis Street, and Fauquier Street.</p> <p>Also in the block, to the north of the library, is the 1927 Mary Washington Hospital that has been redeveloped into Mary Washington Square. Many of the neighboring residents have indicated that this vacant property has a negative impact on the block due to its deteriorated appearance. Twenty neighboring residents have signed a petition submitted to City Council requesting removal of the structure due to lack of maintenance.</p>
<p><b>Inordinate hardship.</b></p>	<p>The City purchased this property on behalf of the Central Rappahannock Regional Library, and the underlying rationale for the purchase was the use of the land. The possible rehabilitation of this structure would be limited to residential, and this use is inappropriate for the Central Rappahannock Regional Library. The Central Rappahannock Regional Library cannot make reasonable economic use of the property as a residence, because the Library's needs are for additional parking and for eventual expansion of the Library building to serve the public. Library staff evaluated the use of this building for administrative staff, but determined that the use was not feasible due to ADA accessibility and code compliance issues.</p>

Removal of this building at 1210 Sophia Street meets Comprehensive Plan goals to provide parking downtown and reduce parking pressure on surrounding residential neighborhoods. In addition, the Comprehensive Plan specifically calls for removal of these two structures to allow the library to implement their long-range plan for the site. However, the plan also calls for keeping Fredericksburg's historic buildings intact and in use. The dwelling retains most of its character-defining features, and does contribute to the architectural and historic integrity of the Historic District. Removal of the building on this site requires reconciliation of competing values for the City. While a significant investment was made in this property for the benefit of the library, the building does not meet the standards for demolition defined in City Code §72-23.1 D(3). Relocation should be considered as an alternative to demolition for this property.

The applicant is requesting approval to solicit proposals for relocation of the building. The property would be advertised for a five-month period. This timing is based on the provisions in City Code §72-23.1 D(3)(b), which gives the property owner the right to demolish a structure after offering it for sale for a period of time based on the offering price. The five-month period is based on the assessed value of the building of \$44,631. The building would be required to be moved to a site within the city limits, and the Architectural Review Board would review and approve any proposed site as well as exterior alterations to the building. The City Council has also approved an incentive of up to \$20,000 to assist with relocation of the structure.

Relocation of historic buildings is an infrequently used option to save buildings at risk of demolition because of the cost involved and the potential adverse effects on adjacent historic properties. In the case of 1210 Sophia Street, relocation appears to be a potentially appropriate solution. This modestly-sized building does not display any major structural defects and can likely be moved for a reasonable cost. As the only detached residential building remaining on this block, the building's removal will not adversely impact any neighboring historic dwellings. Relocation presents the opportunity to preserve a historic structure in a similar context, while supporting an important community organization with limited opportunities for growth and expansion. Approval of the request is recommended on condition that the structure is documented before any relocation or demolition.

Attachments:

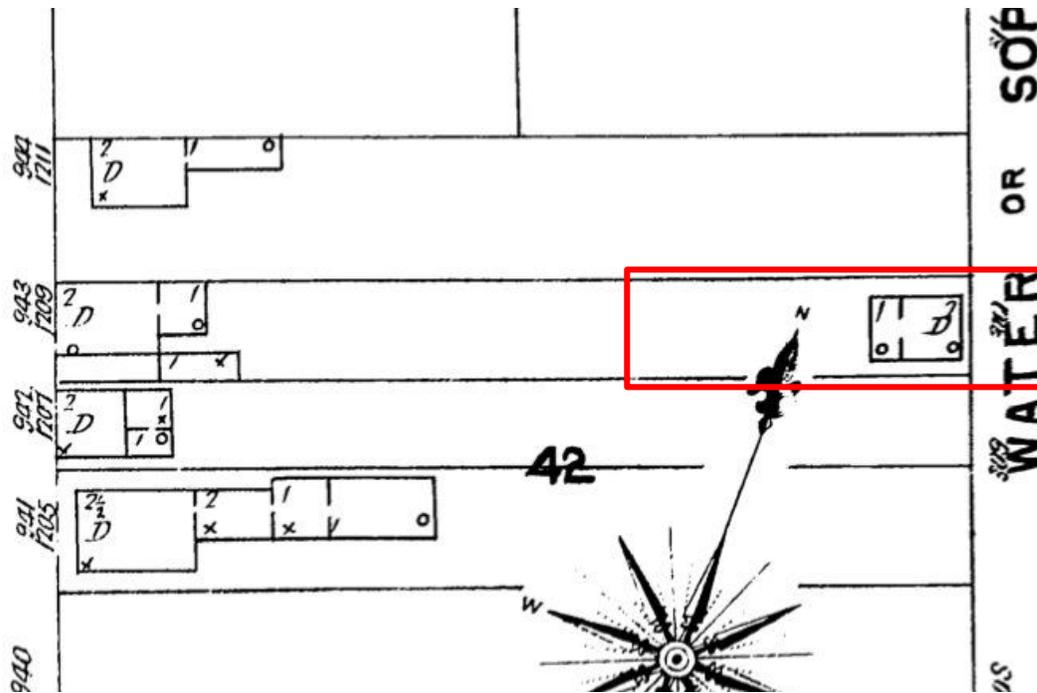
1. Aerial and Existing Front Elevation View
2. Sanborn Fire Insurance Maps, c.1896 and c.1902
3. Sanborn Fire Insurance Maps, c.1912 and c.1947
4. Property Photographs
5. Petition Requesting Demolition of 1210 Sophia Street
6. Application from the City of Fredericksburg



AERIAL

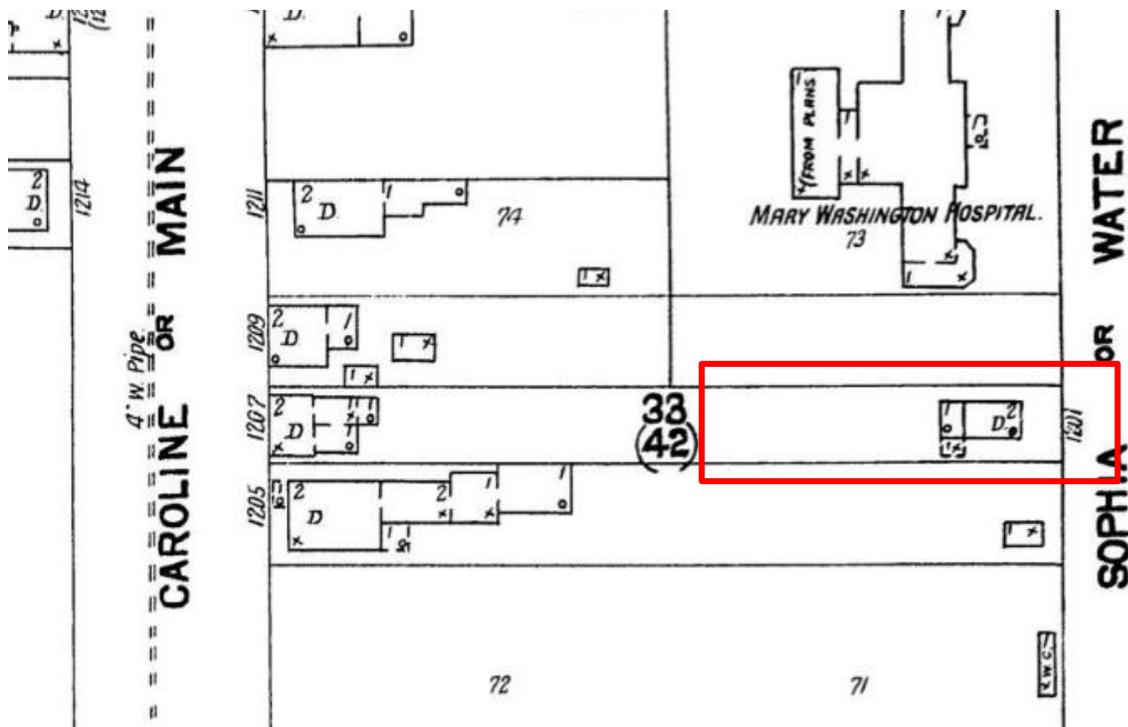


FRONT (EAST) ELEVATION



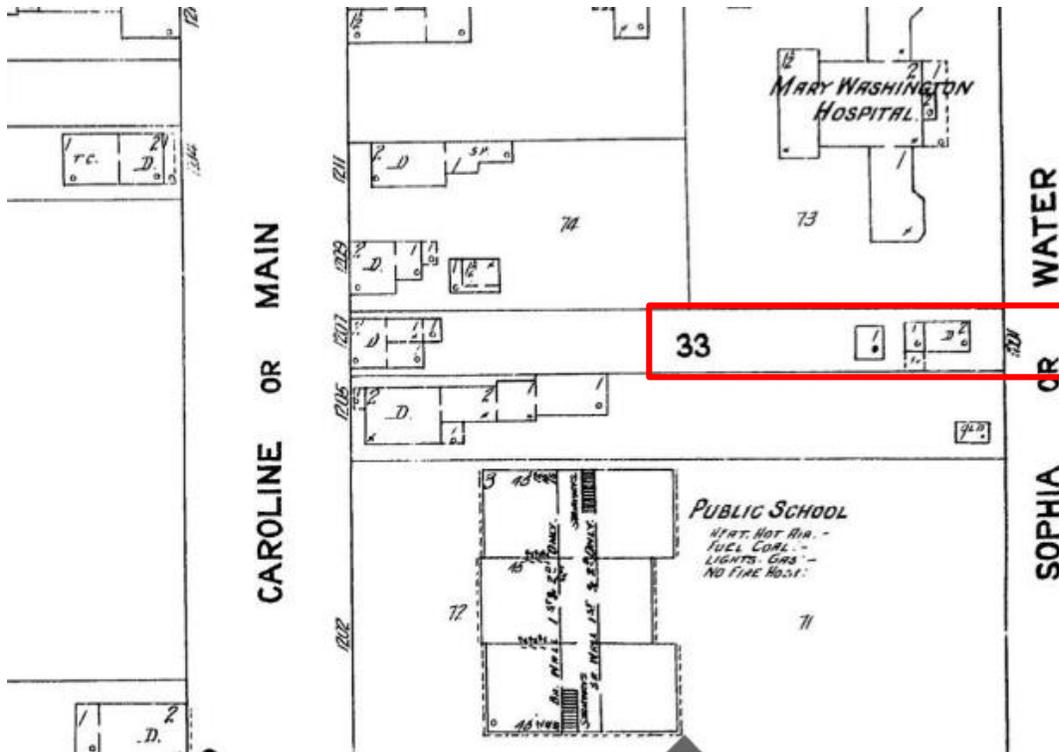
Sanborn Fire Insurance Map, c.1896

This dwelling is the only residence on the block at this time. The structure appears to have been drawn on the incorrect lot, as land tax records indicate that this is the same structure currently addressed as 1210.



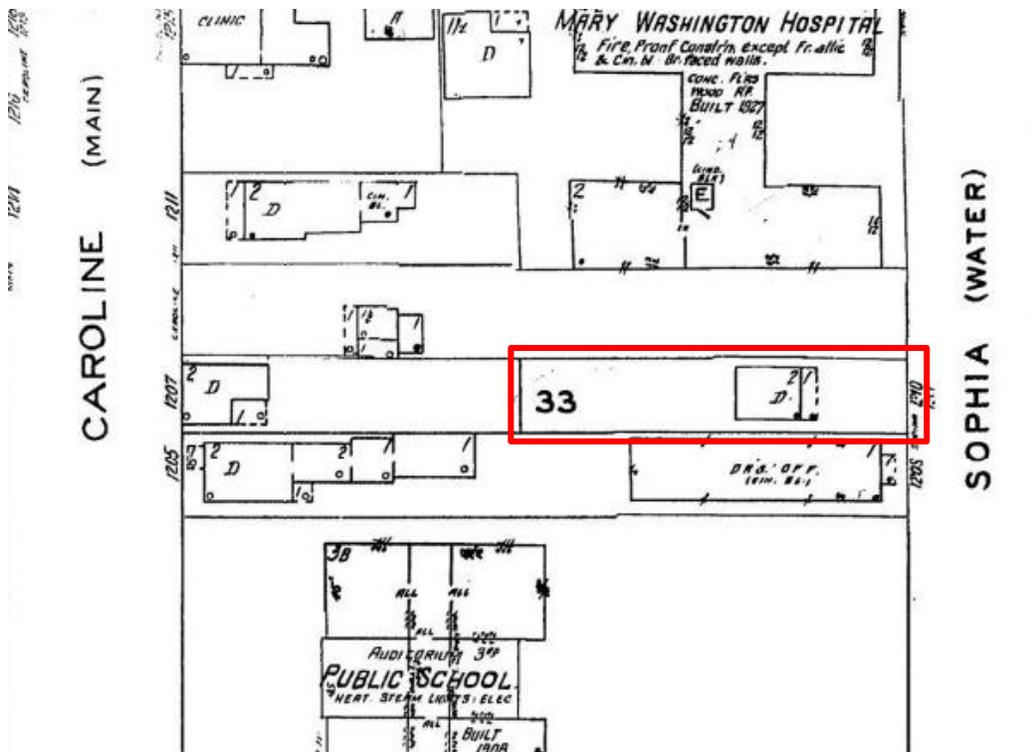
Sanborn Fire Insurance Map, c.1902

Note the change in street numbers.



Sanborn Fire Insurance Map, c.1912

Note the addition of the school building at the corner of Caroline and Lewis Streets, now the Central Rappahannock Regional Library Headquarters.



Sanborn Fire Insurance Map, c.1947

Note the addition of the doctor's office at 1208 Sophia Street and the corrected address at 1210.



Note the hyphen connecting 1208 and 1210 Sophia Street in this 1984 survey photo.



Rear Elevation



Interior Conditions – First Floor



Interior Conditions – Second Floor

**PETITION**

We, the adjoining and adjacent property owners of Mary Washington Square, along with residents of the Rising Sun Neighborhood Association, respectfully request the City of Fredericksburg condemn and demolish the City owned home located at 1210 Sophia Street.

Said property has been vacant since 2006, has not been properly maintained, and does not meet current maintenance codes.

Print NAME	Signature	Address
James Schlesinger		100 A Fauquier St 22401
Cheryl Schlesinger		100 A Fauquier St 22401
Glenn Woodard		100 A Fauquier St 22401
SHERRY DOWDY		100-D FAUQUIER ST FRED, VA 22401
Stacey Hilderbrand		1214 Sophia St. Fredericksburg, VA 22401
Thomas Tomzaf		1218 Sophia St Fredericksburg, VA 22401
Karen Woodard		1222 Sophia St. Fredericksburg Va 22401
Suzanne Belmore		1218 Sophia St Fredericksburg, VA 22401
Iris Cheatham		1215 Caroline St. Fredericksburg, VA 22401
William Cheatham		1215 Caroline St. Fredericksburg, VA 22401
MICHAEL P. GOLKA		100 FAUQUIER ST FREDERICKSBURG, VA 22401
KIT GOLKA		100 FAUQUIER ST FREDERICKSBURG VA 22401
Sally Kubrek		100B Fauquier St FRED VA 22401



# APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

December 13, 2016

Property Address: 1210 Sophia Street

GPIN: 7789-16-2304

Applicant: City of Fredericksburg, Owner

Contact Information: Mark Whitley, Assistant City Manager  
[mwhitley@fredericksburgva.gov](mailto:mwhitley@fredericksburgva.gov)  
(540) 372-1010  
Post Office Box 7447  
Fredericksburg, VA 22404-7447

Request: Permission to Move the Building to Another Location  
Demolition, if Building Relocation is Unsuccessful

## Background

The City Council, in October of 2006, passed Resolution 06-91 which amended the FY 2007 budget to allow for the purchase of property “for the use of the Central Rappahannock Regional Library.” The Central Rappahannock Regional Library at that time contributed \$50,000 towards the purchase of the property.

The Library has notified the City that they wish to use this property, and the property next door at 1208 Sophia Street, for additional parking in the short term and in the long term for an addition to the rear of the existing library headquarters building. Both properties are zoned Commercial / Office Transitional (“C-T”) under the City’s Unified Development Ordinance.

The Library has identified the removal of 1208 and 1210 Sophia Streets as the highest priorities for physical plant work at their Headquarters Library. The existing parking lot at the rear of the Headquarters Branch is usually full from the demand of patrons and employees, necessitating the use of on-street parking on Caroline and in front of residential homes throughout the surrounding neighborhood.

City staff is currently evaluating the number of additional spaces that will be added to the parking area at the Library if the property at 1208 and 1210 Sophia Streets are made part of the existing parking area at the rear of the Library building. The two lots together will add 8,205 square feet to the parking area at the rear of the existing building. Under the City’s Unified

Development Ordinance, 20% of the property must be set aside for open space. The Library has expressed an interest in conveying the property at 1208 Sophia Street to the City and combining the lots.

The physical condition of 1210 Sophia is not such that it has deteriorated beyond repair. However, it did not seem prudent to invest City funds into the maintenance of this building, given the Council's intent to purchase the property for the eventual removal of the building and the use of the property for the Library. The appearance of the building is blighted. The vacant status of the building has created an attractive nuisance situation, which impacts the use and enjoyment of neighboring residential properties. The building is now nearing a tipping point where either substantial resources need to be invested into a renovation, or the City needs to move ahead with the original plan to remove the building.

On December 13, 2016, City Council requested staff to make an application on its behalf to the Architectural Review Board for a Certificate of Appropriateness to solicit proposals for the removal of the structure by June 30, 2016. If no viable proposals are received, the Council requests a Certificate of Appropriateness for the demolition of the building. Resolution 16-110 is attached to this application for reference.

## Standards for Demolition, Removal, or Relocation

### 1) Architectural Significance of the house

“This two-story, wood-framed dwelling is clad in weatherboard siding and displays elements of the Colonial Revival and Craftsman styles in its simple form, open eaves, and full-width front porch. Previous survey reports estimated a construction date c.1910; however, land tax records and Sanborn Fire Insurance maps indicate that the structure was likely built c.1894. Gilbert C. Walker first appears as owner of the property in the 1894 land tax records with the note “house added.”

The 1896 and 1902 Sanborn maps show only one dwelling on the west side of the 1200 block of Sophia Street. The location of the structure shifts over one lot from the 1896 to 1902 maps; however, the structure is the same general size and configuration on each map. It is most likely that the same structure is depicted on both maps with the variation occurring as a result of changing street names and house numbers. The front porch was added between 1927 and 1947, and a building permit indicates that an addition of “four frame rooms” was added to the rear of the house in 1953. The change in siding materials, from wood to asbestos shingle, appears to delineate the added section. The wood windows were replaced by vinyl in 1992 without permission of the Architectural Review Board. A Certificate of Appropriateness for the replacement was granted after the fact.” {Kate Schwartz memo to the City Manager – November 8, 2016}.

According to the deed records, the City purchased the house from Eugene H. Sullivan in 2006. Mr. Sullivan, along with his wife Wilma C. Sullivan, had purchased the property from Nancy Walker Carneal in November of 1986. Ms. Sullivan passed away in 2000 and the property interest went solely to Mr. Sullivan at that time. The deed records alternatively list this property as Lot 73, Block 33.

The 1986 deed from Ms. Walker to Mr. and Mrs. Sullivan<sup>1</sup> state that the real estate was formerly owned by Joseph T. Walker. Joseph T. Walker inherited the property under the Last Will and Testament of Gilbert C. Walker, his father, in February 1932.

Joseph T. Walker conveyed a one-half interest in the property to Nancy Walker Carneal in 1937. The other half-interest was conveyed to Ms. Carneal in March 1965 through the Last Will and Testament of Joseph T. Walker.

## 2) Historical Significance of the house

This house was constructed during the period labeled by the Virginia Department of Historic Resources “Reconstruction and Growth (1865-1917)” following the Civil War. According to the Virginia Department of Historic Resources *Comprehensive Survey Report*, the turn of the 20<sup>th</sup> Century was a time of economic recovery and expansion of middle-class residential housing in areas away from the downtown core. The house at 1210 Sophia was isolated on the block, but the surrounding blocks had quite a bit of residential construction activity during this time period.

## 3) Whether the house is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually

The building at 1210 Sophia is not, in the opinion of staff, in a position where it is surrounded by other structures of similar vintage or style. Its significance is singular rather than as part of series of structures.

## 4) The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plans’ goals

The plan proposed by the City is specifically cited in the Comprehensive Plan as follows...

“To better serve the region, the library staff has developed a long-range plan to expand the well-used headquarters building. The library owns a building at 1208 Sophia Street and the City owns the adjacent 1210 Sophia Street. These structures as well as the existing library annex will be removed and converted to parking, to be accessible from both Caroline and Sophia Streets. The existing parking behind the library will be vacated, to allow construction of an addition to the main library building, to provide an improved and larger auditorium and other public spaces.<sup>2</sup>”

The City may or may not be able to fund the long-range capital improvement in the near future, but the City also has a short-term need to provide for additional parking in the library area. The

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<sup>1</sup> Deed Book 206 Page 334

<sup>2</sup>Fredericksburg *Comprehensive Plan*, page 48.

library is located in an area of the City that is zoned C-T, Commercial Transition. The Library is often thought of as “downtown” but in terms of parking needs the applicant submits that parking by patrons and employees at the Library is more accurately described as a “Neighborhood Parking” issue, in that the lack of spaces in the library parking lot creates heavy demand for on-street parking on surrounding streets that include a mix of small businesses and houses. Removal of the buildings and construction of additional parking for the library will both support the short- and long-term goals of the library and provide relief to the neighborhood from parking demand, which is a goal of the Comprehensive Plan.

The Comprehensive Plan does maintain Historic Preservation of City-owned property as an important general goal. However, the specific citation in the Plan to remove the buildings at 1208 and 1210 Sophia Street conveys the intent of the Comprehensive Plan with respect to these properties.

5) The condition and structural integrity of the building or structure, as indicated by documentation prepared by a qualified professional or licensed contractor, or other information, provided to the board for examination.

“In general, the exterior is in fair condition, and the interior is in good condition. A formal assessment has not been performed, but no significant structural issues were readily visible and it appears that the building could be reasonably rehabilitated. The dwelling retains most of its character-defining features, and does contribute to the architectural and historic integrity of the Historic District.” {Kate Schwartz memo to the City Manager – November 8, 2016}.

6) Effect on surrounding properties.

#### *Immediate Surrounding Area*

The removal of the structures located at 1208 and 1210 Sophia Street will have a positive impact on the continued adaptive re-use of the Headquarters Branch of the Central Rappahannock Regional Library located at 1201 Caroline Street, which is a major contributing structure in the City’s historic district. The history of this landmark building, begins with the Fredericksburg High School constructed in 1908. The Library received the building from the City in 1969, and it has been actively used and maintained by the Library since that time. The Headquarters Branch of the Library is the largest structure on the block bounded by Caroline Street, Sophia Street, Lewis Street, and Fauquier Street.

The Department of Historic Resources Survey for the Library building states that “[t]his 1908 Georgian style building retains integrity of location, design, setting, materials, workmanship, feeling, and association, and is in good condition. Therefore, the resource is recommended eligible under National Register Criterion C and contributing to the architectural integrity of the Fredericksburg Historic District.” The Architectural Description is set forth in detail in the Survey Report, attached.

Also in the block, to the north of the Library Headquarters, is the original 1927 Mary Washington Hospital that has been re-developed into Mary Washington Square. Mary Washington Square is currently being negatively impacted by the two vacant properties – particularly the property at

1210 Sophia Street, as it is blighted in appearance and represents an attractive nuisance for trespassing and littering. Removal of the structures at 1210 and 1208 Sophia Streets would be beneficial to the Mary Washington Square property, and the Central Rappahannock Regional Library.

The residence across the street at 1203 Sophia Street dates from 2003 and is not considered a contributing structure in the historic district. The City owns a vacant lot approximately ½ acre in size on the river side of Sophia Street across from the structures at 1208 and 1210 Sophia Street.

#### *Broader Neighborhood Context*

There are a variety of historic residences in the surrounding blocks, as well as other structures. The City's commercial downtown begins approximately one block south, at Amelia Street. The blocks to the north and west are a mix of residential and small commercial enterprises. The Rappahannock River is located to the east of Sophia Street in this area.

#### *Public Testimony from the Surrounding Neighborhood*

At the regular meeting of City Council held December 13, 2016, three residents of the surrounding neighborhood testified that they would like to see the building at 1210 Sophia Street demolished. One of the residents, Dr. Schlesinger, read a letter from George Fish, who could not be in attendance, in support of demolition. Ms. Sherry Dowdy and Ms. Bea Paolucci also testified that the house should be demolished. In addition, a petition was presented to City Council with the following statement:

“We, the adjoining and adjacent property owners of Mary Washington Square, along with residents of the Rising Sun Neighborhood Association, respectfully request the City of Fredericksburg condemn and demolish the City-owned home located at 1210 Sophia Street.

Said property has been vacant since 2006, has not been properly maintained, and does not meet current maintenance codes.”

This petition was signed by twenty residents of the surrounding neighborhood.

#### 7) Inordinate hardship.

“An inordinate hardship is an instance when preservation will deprive the owner of reasonable economic use of the property... To establish inordinate hardship under this section the applicant must submit evidence that rehabilitation of the building or structure is impractical, that the building or structure is inappropriate for the proposed use desired by the owner, and that the applicant cannot make reasonable economic use of the property...”<sup>3</sup>

The City purchased this property on behalf of the Central Rappahannock Regional Library, and the underlying rationale for the purchase was the use of the land. The possible renovation and re-use of this structure would be limited to residential, and this use is inappropriate for the

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<sup>3</sup>The paragraph quotes sections of City Code §72-23.1 (3) (7) – the entire complete paragraph is available on-line, but the application is focusing on these criteria as being the most applicable in the case of 1210 Sophia Street.

Central Rappahannock Regional Library. The Central Rappahannock Regional Library cannot make reasonable economic use of the property for a residential house, because the Library's needs are for additional parking and for eventual expansion of the Library building to serve the public.

The City requests a Certificate of Appropriateness to first attempt to relocate the building. The City Council is willing to work with an appropriate contractor to advance the moving of this structure to an appropriate location, and the subsequent renovation of the building. If this effort proves unsuccessful, the City Council requests that the Certificate of Appropriateness be granted for the demolition of the structure.

Attachment: Resolution 16-110  
2006 House Location Survey  
Virginia Department of Historic Resources Architectural Survey Form, 1201  
Caroline Street

Sources:

Virginia Department of Historic Resources, *Comprehensive Survey Report: Reconnaissance Survey of 1,000 Resources Within the Fredericksburg Historic District and Potential Expansion Area, Fredericksburg Virginia*. 2008.

City of Fredericksburg, *Comprehensive Plan*, 2016

Schwartz, Kate, "Process for Removal or Demolition of 1208 and 1210 Sophia Street," Memorandum to City Manager Timothy J. Baroody, November 8, 2016.



**MOTION: KELLY**

**SECOND: DEVINE**

**December 13, 2016  
Regular Meeting  
Resolution No. 16-110**

**RE: AUTHORIZING APPLICATION TO THE ARCHITECTURAL REVIEW BOARD FOR A CERTIFICATE OF APPROPRIATENESS TO RELOCATE AND IF UNSUCCESSFUL, DEMOLISH THE STRUCTURE AT 1210 SOPHIA STREET FOR THE CENTRAL RAPPAHANNOCK REGIONAL LIBRARY**

**ACTION: APPROVED: Ayes: 7; Nays: 0**

**WHEREAS**, in 2006 the City of Fredericksburg purchased the property at 1210 Sophia Street (GPIN 7789-16-2304) for the use of the Central Rappahannock Regional Library; and

**WHEREAS**, the Central Rappahannock Regional Library, which owns the adjacent property at 1208 Sophia Street, wishes to remove both structures so as to construct additional parking in the short run and in the long run possibly construct an addition to the Headquarters Building; and

**WHEREAS**, the residential structure located at 1210 Sophia Street is currently vacant and the City Council wishes to transfer this structure to private ownership if possible, while retaining the land for the use of the Library; and

**WHEREAS**, the property is located in the Historic District, and the City must make an application to the Architectural Review Board for a Certificate of Appropriateness if the City wishes to remove or demolish the structure; and

**WHEREAS**, the Council wishes to remove this structure from this land in order to support the plans of the Central Rappahannock Regional Library;

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Fredericksburg authorizes the City Manager to prepare an application to the Architectural Review Board for a Certificate of Appropriateness relocate the structure at 1210 Sophia Street in support of the Central Rappahannock Regional Library. If no parties come forward with a viable plan to remove the structure in a manner that preserves the structure, then the City Council requests that the ARB's Certificate of Appropriateness include permission for demolition of the structure.

**BE IT FURTHER RESOLVED**, that the City Council of the City of Fredericksburg authorizes the City Manager to provide an incentive for the relocation of the

structure of no more than \$20,000 at the completion of work provided the structure is moved and preserved in a manner that is approved by the Architectural Review Board.

**Votes:**

**Ayes:** Greenlaw, Withers, Devine, Duffy, Ellis, Frye, Kelly

**Nays:** None

**Absent from Vote:** None

**Absent from Meeting:** None

\*\*\*\*\*

***Clerk's Certificate***

*I, the undersigned, certify that I am Clerk of Council of the City of Fredericksburg, Virginia, and that the foregoing is a true copy of Resolution No. 16-110 duly adopted at a meeting of the City Council meeting held December 13, 2016 at which a quorum was present and voted.*



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***Tonya B. Lacey, CMC***  
***Clerk of Council***



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for demolition at 1208 Sophia Street

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### ISSUE

The Central Rappahannock Regional Library requests to demolish this commercial structure.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request on condition that the site is monitored for archaeological deposits during demolition and City staff is notified of any findings.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1 D(3): *Demolition, Removal or Relocation*

1. No historic landmark, building or structure within the HFD shall be razed, demolished, or moved until the razing, demolition or moving thereof is approved by the ARB. In determining the appropriateness of any application for the razing, demolition, or moving of a building or structure, the ARB shall consider the following criteria:
  - (1) The architectural significance of the building or structure.
  - (2) The historical significance of the building or structure.
  - (3) Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.
  - (4) The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.
  - (5) The condition and structural integrity of the building or structure, as indicated by documentation prepared by a qualified professional or licensed contractor, or other information, provided to the board for examination. The City Manager may obtain an assessment from a qualified professional or licensed contractor to assist the ARB or City Council in rendering a decision.
  - (6) Effect on surrounding properties.
  - (7) Inordinate hardship. This inquiry is concerned primarily with the relationship between the cost of repairing a building or structure and its reasonable value after repair. An inordinate hardship is an instance when preservation will deprive the owner of reasonable economic use of the property.

**BACKGROUND**

The building at 1208 Sophia Street is a simple, one-story structure built of concrete block, clad in aluminum siding, and displaying elements of the Colonial Revival style. The front-gabled roof is clad in asphalt shingles and an octagonal window is centered in the front gable-end. A small gabled portico, also clad in asphalt shingles, is centered on the front elevation to shelter the main entry door. Some six-over-six wood windows remain, with aluminum storm windows and inoperable aluminum shutters on the exterior. A flat-roofed addition projects off the rear of the structure and abuts the existing Library annex building.

Limited information is available regarding the building's history of construction and use. A building permit was issued for the property in September 1939 for work in the amount of \$10,000. However, it is not clear when construction was completed. The building does appear on the 1947 Sanborn Fire Insurance map and is labeled as a doctor's office. This appears to be the building's earliest use, likely constructed on this site because of its proximity to the original Mary Washington Hospital at the corner of Fauquier and Sophia Streets. By 1984, a connector attached 1208 and 1210 Sophia. At the time, it appears that both structures were occupied together as a government-subsidized group home. The connector was removed in the 1990s, though the filled-in section of wall on the north side is still clearly visible. The building was vacant at the time of its sale to the Library. The building does not retain its integrity due to significant alterations to windows, doors, cladding, walls, and interior spaces. The building does not contribute to the architectural integrity of Fredericksburg's Historic District.

The Central Rappahannock Regional Library has both short and long-term plans for the use of this property. The site will be used to expand the existing parking lot on an interim basis. The existing parking lot at the rear of the Headquarters Branch is usually full from the demand of patrons and employees, necessitating the use of on-street parking on Caroline Street and in front of residential homes throughout the surrounding neighborhood. The lots at 1208 and 1210 Sophia Street combined will add 8,205 square feet to the parking area at the rear of the library. The library also has a long-term plan for all of their property that involves demolition of the existing annex, expansion of parking, and construction of a multi-story addition to house a performance/auditorium space and other facilities.

<b>The architectural significance of the buildings.</b>	Does not retain architectural integrity or significance.
<b>The historical significance of the buildings.</b>	Does not retain historical integrity or significance.
<b>Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.</b>	The historic context of this block of Sophia Street has largely been lost. While this building's original use as a doctor's office can be associated with the former Mary Washington Hospital, the building does not retain its integrity. This structure does not contribute to the significance of other neighboring buildings.
<b>The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.</b>	The Comprehensive Plan calls for keeping Fredericksburg's historic buildings intact and in use; however, demolition of this building is specifically

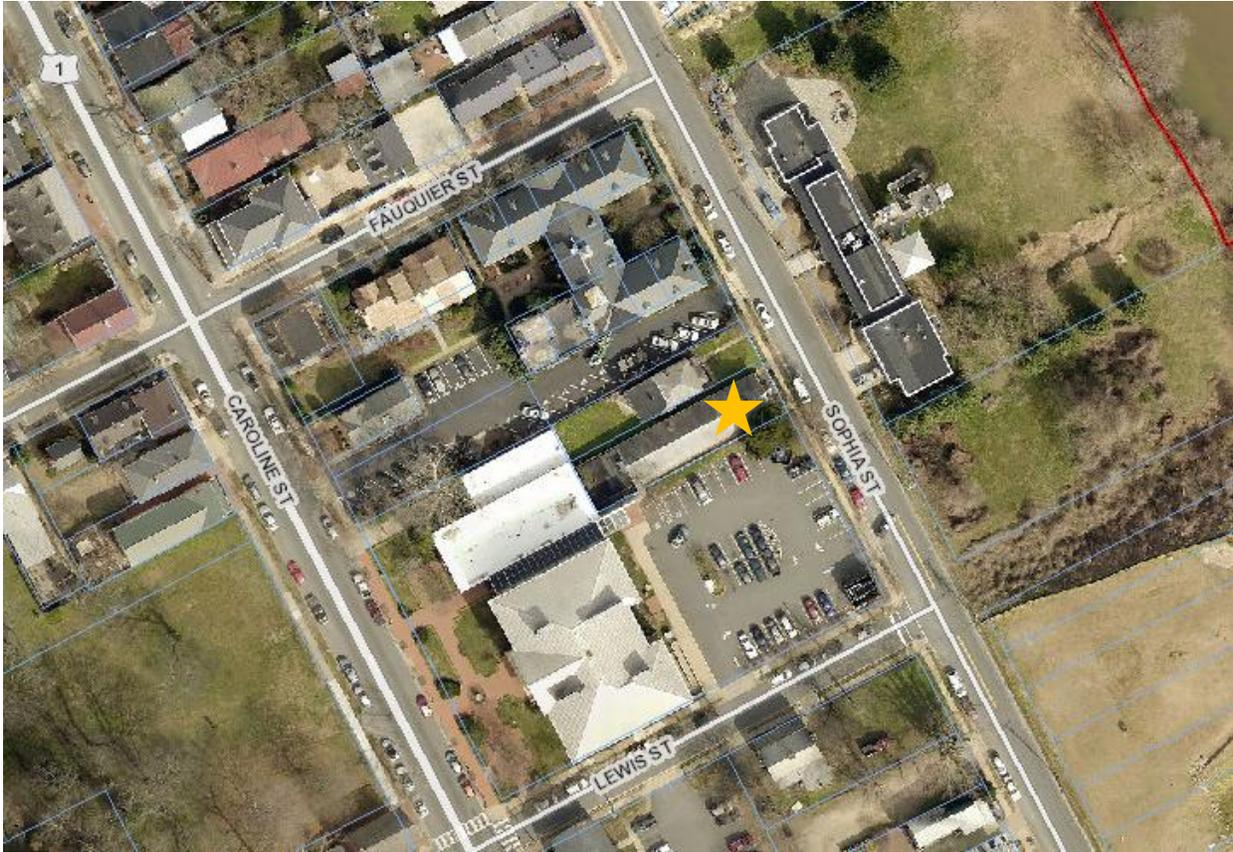
	<p>called for in order to support the Library. Removal of the building is proposed in order to enhance use of the Central Rappahannock Regional Library and promote the continued preservation of the highly significant headquarters building at 1201 Caroline Street. The short and long-term goals for this property are specifically addressed in the City’s Comprehensive Plan (pg. 48): “To better serve the region, the library staff has developed a long-range plan to expand the well-used headquarters building. The library owns a building at 1208 Sophia Street and the City owns the adjacent 1210 Sophia Street. These structures as well as the existing library annex will be removed and converted to parking, to be accessible from both Caroline and Sophia Streets. The existing parking behind the library will be vacated, to allow construction of an addition to the main library building, to provide an improved and larger auditorium and other public spaces.”</p>
<p><b>The condition and structural integrity of the building or structure.</b></p>	<p>The structure appears to be in fair condition, though deterioration is visible in the interior spaces. The rear addition is in poor condition and shows significant issues with moisture infiltration. Asbestos, mold, and mildew abatement are substantial concerns.</p>
<p><b>Effect on surrounding properties.</b></p>	<p>The removal of the structure located at 1208 will have a positive impact on the continued adaptive reuse of the Central Rappahannock Regional Library Headquarters located at 1201 Caroline Street, which is a major contributing structure in the historic district. The Library received the building from the City in 1969, and it has been actively used and maintained by the Library since that time. Constructed as the Fredericksburg High School in 1908, the library is the largest structure on the block bounded by Caroline Street, Sophia Street, Lewis Street, and Fauquier Street.</p> <p>Also in the block, to the north of the library , is the 1927 Mary Washington Hospital building that has been redeveloped into Mary Washington Square. Many of the neighboring residents have indicated that this vacant property has a negative impact on the block due to its deteriorated condition.</p>
<p><b>Inordinate hardship.</b></p>	<p>The applicant has indicated that this property has been evaluated for adaptive reuse, but could not meet the administrative staff’s needs due to the lack of a loading dock, delivery ramp, ADA accessibility, and the need</p>

	for asbestos, mold, and mildew abatement. The Library's primary need is for additional parking and the applicant has indicated that 70% of library customers surveyed found the current parking to be insufficient.
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Due to its lack of integrity, this building does not contribute to the historic character of Fredericksburg's Historic District. Its removal will not have an adverse impact on the character of the District, and approval of the request is recommended. The site should be monitored for archaeological deposits during demolition and City staff should be notified of any findings.

Attachments:

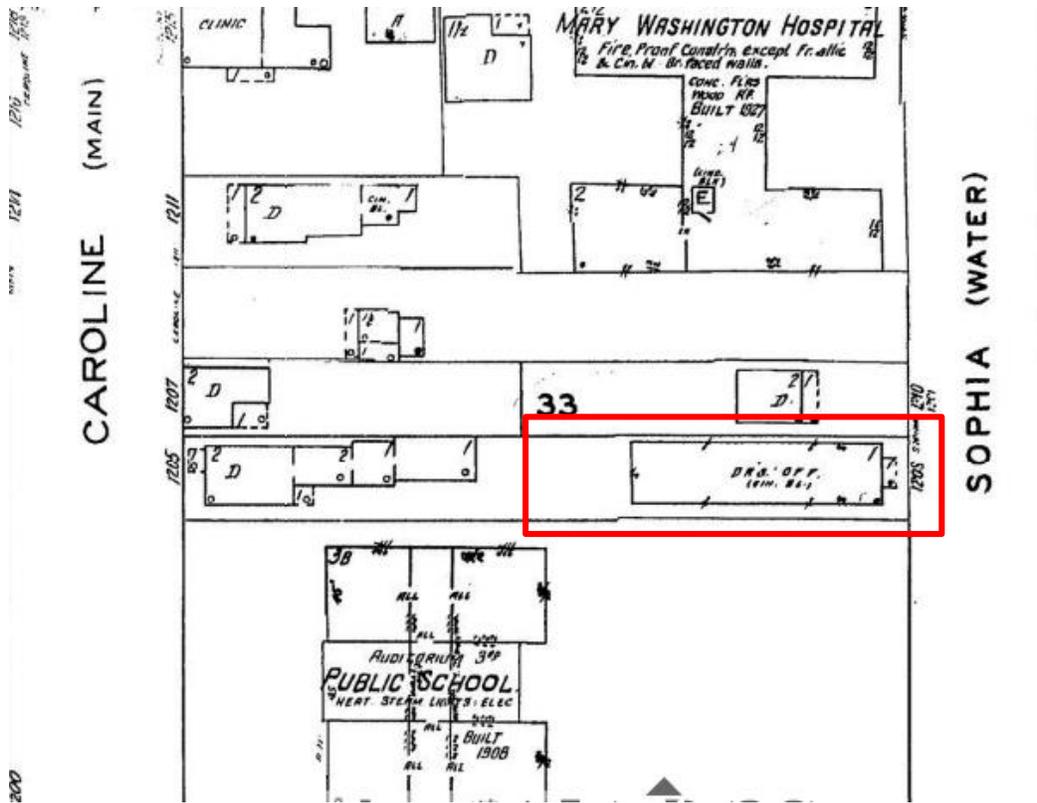
1. Aerial and Existing Front Elevation View
2. Sanborn Fire Insurance Map, c.1947
3. Property Photographs
4. Letter and Application from the Central Rappahannock Regional Library



AERIAL



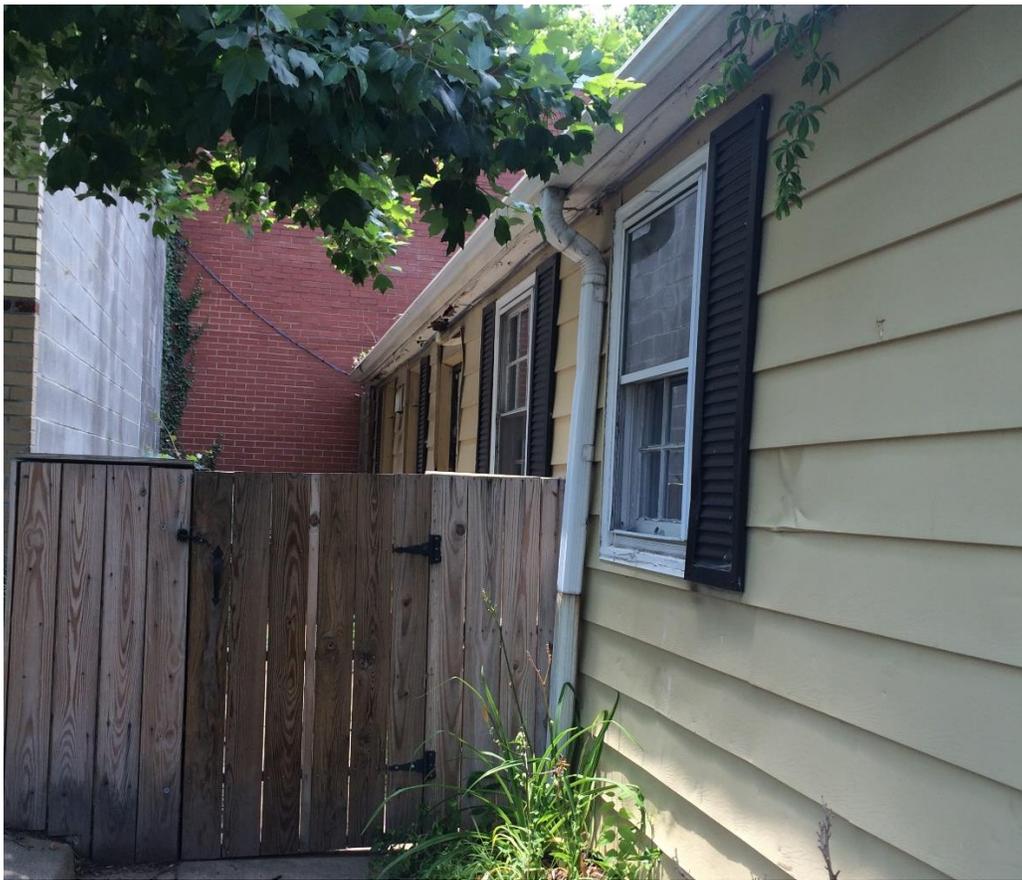
FRONT (EAST) ELEVATION



Sanborn Fire Insurance Map, c.1947



Note the hyphen connecting 1208 and 1210 Sophia Street in this 1984 survey photo.



Side Elevations



Interior Central Hallway



Interior conditions



Interior Conditions



# Central Rappahannock Regional Library

*Serving the City of Fredericksburg and the Counties of Spotsylvania, Stafford, and Westmoreland*

## Headquarters

1201 Caroline St.  
Fredericksburg  
22401-3701  
540/372-1144  
fax: 373-9411

Mark Whitley  
Assistant City Manager  
City of Fredericksburg  
PO Box 7447  
Fredericksburg, VA, 22404

## Salem Church

2607 Salem Church Rd.  
Fredericksburg  
22407-6451  
540/785-9267  
fax: 785-9443

Dear Mark,

## Snow Memorial

8740 Courthouse Rd.  
Spotsylvania  
22553-2513  
540/507-7565  
fax: 582-1052

The library building at 1201 Caroline street has never been the optimal spot for the library system's administrative functions. Its downtown location, a floorplan constrained by many structural walls, and single elevator for staff, customers and the movement of materials has always made it a difficult location to process the more than 60,000 books and other items the library acquires annually. To that end, when the building was renovated in 1990, the idea was to move the administrative functions elsewhere. The third floor of the library was specifically designed to accommodate the shelving and floor load necessary to use it as public space. Although budget constraints and other issues have delayed the long planned relocation of the administrative functions, that plan is finally coming to fruition. The buildings at 1208 and 1210 Sophia street were purchased specifically to allow for the expansion of parking and eventually the existing library building and are not at all suited functionally or architecturally to house the public or staff. With the completion of the relocation of the library's administrative functions to a more appropriate facility on Lafayette Boulevard, the only value to the library of the two buildings on Sophia street is the land on which they are sited.

## England Run

806 Lyons Blvd.  
Fredericksburg  
22406-7474  
540/899-1703  
fax: 899-1708

The library's budget has never allowed for the complete renovation or removal of the 1208 and 1210 properties. Currently, both contain asbestos and are in such disrepair that it is cost prohibitive. We had hoped to use the 1210 building for temporary office space, but were unable to because of ADA and other building compliance issues. We did use the 1208 for storage of maintenance equipment and some staff, however between the poor condition of the buildings, the asbestos, mold, mildew and the cost to heat and cool a poorly insulated structure the cost to the library was untenable. By the time we moved completely out of the building these issues had destroyed many of the stored items which then had to be discarded. Even if the buildings were habitable they do not provide enough office space or meet the other minimum requirements for the administrative staff's needs such as a loading dock or delivery ramp. They have become an attractive nuisance, bringing homeless individuals into and outside of the 1210 home in particular causing problems for the neighborhood. City police and library security have been summoned on multiple occasions.

## Porter Memorial

2001 Parkway Blvd.  
Stafford  
22554-3972  
540/659-4909  
fax: 659-6150

## Cooper Memorial

20 Washington Ave.  
Colonial Beach  
22443-2337  
804/224-0921  
fax: 224-1330

## Montross Branch

56 Polk St.  
Montross  
22520-0308  
804/493-8194  
fax: 493-0446

## Newton Memorial

22 Coles Point Rd.  
Hague  
22469-0116  
804/472-3820  
fax: 472-5104





# Central Rappahannock Regional Library

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804/472-3820  
fax: 472-5104

After the completion of an RFP process, the Library Board of Trustees recently approved the much anticipated plan to move the remaining library admin staff out of the Headquarters Library and into office space adjoining the current Library Service Center where the other half of the admin team has worked for the past ten years. The building owned by Mike Degen of C & M Properties is located off of Lafayette Boulevard in the City of Fredericksburg and we anticipate moving in April 2017. Additional cost savings will be realized since staff will no longer have to travel between two buildings for meetings, maintenance and courier tasks.

This will free up an additional 15 parking spots on a daily basis plus an average of an additional 4-6 daily for library visitors or branch staff coming specifically to meet with administration. Unfortunately these are not enough. Library customers and staff are frequently unable to find parking in the lot or on neighborhood streets. During our recent strategic planning process, we surveyed customers and 70% of responders indicated there was a lack of parking at the Headquarters facility. Customers frequently go to another library or just give up. However, those that stay frequently visit area businesses after getting their books. These additional spaces will provide much needed additional parking for the entire city and will be available to visitors especially when the library is closed. Turning the 1208 and 1210 properties into additional parking benefits the entire downtown community, not just the library.

The short-term renovation plans of the Headquarters Library are to create public meeting space and small group study rooms using vacated office spaces on the 3rd floor, and to move all of the adult collections off of the 2nd floor which also houses the youth services collections. It is generally advised when planning library spaces that adult and children's collections are housed separately. At the city's request, the library has received updated architectural plans from The Lukmire Partnership that include expanded parking, a public performing arts center, to include a green room, concessions, storage and changing rooms as well as additional public use spaces. We are aware that this is a very long-term plan, but the more immediate need is parking. Unfortunately, neither of the projects can happen until the 1208 and 1210 buildings are removed.

Thank you for your consideration,

Martha M. Hutzel  
Director

Central Rappahannock Regional Library



# APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

December 13, 2016

Property Address: 1208 Sophia Street

GPIN: 7789-16-2311

Applicant: Central Rappahannock Regional Library, Owner

Contact Information: Martha Hutzl, Director  
martha.hutzl@crrl.org

Rebecca Purdy, Deputy Director  
rebecca.purdy@crrl.org

(540) 372-1144  
1201 Caroline St  
Fredericksburg, VA 22401-3701

Request: Permission to Demolish Building

## Background

The Central Rappahannock Regional Library Board of Trustees, in July of 2001, approved the purchase of the property for the use of the Library. An anonymous donor supplied the \$230,000 required for the purchase of the property.

The Library wishes to use this property, and the property next door at 1210 Sophia Street, for additional parking in the short term and in the long term for an addition to the rear of the existing library headquarters building.

The Library has identified the removal of 1208 and 1210 Sophia Streets as the highest priorities for physical plant work at the Headquarters Library. The existing parking lot at the rear of the Headquarters Branch is usually full from the demand of customers and employees, necessitating the use of on-street parking on both sides of Caroline Street and in front of residential homes throughout the surrounding neighborhood.

The physical condition of 1208 Sophia is not such that it has deteriorated beyond repair. However, it did not seem prudent to invest Library (and therefore City) funds into the maintenance of this building, given the Library's intent to purchase the property for the eventual

removal of the building and the use of the property for parking or expansion. The appearance of the building is blighted. The vacant status of the building has created an attractive nuisance situation, which impacts the use and enjoyment of neighboring residential properties. The building has now reached a tipping point where either substantial resources need to be invested into a renovation, or the Library needs to move ahead with the original plan to remove the building.

In December 2016, the Library administration in consultation with the City staff decided to make an application to the Architectural Review Board to request a Certificate of Appropriateness for the demolition of the building.

## Standards for Demolition, Removal, or Relocation

### 1) Architectural Significance of the house

“The building at 1208 Sophia Street is a simple, one-story structure built of concrete block, clad in aluminum siding, and displaying elements of the Colonial Revival style. Limited information is available regarding the building's history of construction and use. A building permit was issued for the property in September 1939 for work in the amount of \$10,000. However, it is not clear when construction was completed, as the 1940 census does not include this address. The building does appear on the 1947 Sanborn Fire Insurance map and is labeled as a doctor's office. This appears to be the building's earliest use, likely constructed on this site because of its proximity to the original Mary Washington Hospital at the corner of Fauquier and Sophia Streets. A flat-roofed addition projects off the rear of the structure and, by 1984, a connector attached 1208 and 1210 Sophia. At the time, it appears that both structures were occupied together as a boarding house. The connector was removed in the 1990s, though the filled-in section of wall on the north side is still clearly visible.

The City's 2006 architectural survey lists this building as non-contributing to the historic significance of the district.” {Kate Schwartz memo to the City Manager – November 8, 2016}.

### 2) Historical Significance of the house

This building was constructed at the beginning of the period labeled by the Virginia Department of Historic Resources “The New Dominion (1946- Present)” following World War II. According to the Virginia Department of Historic Resources *Comprehensive Survey Report*, the turn of the 20<sup>th</sup> Century was a time of rapid economic expansion with businesses increasingly moving to outlying areas of the city. The building at 1208 Sophia was likely built at that location due to the proximity to Mary Washington Hospital, however the hospital moved shortly thereafter, in 1951 to its Fall Hill Avenue location. At some point the building ceased to be used as a medical practice and was converted to a government subsidized group home. The building was vacant at the time of its sale to the Library.

3) Whether the house is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually

The building at 1208 Sophia is not, in the opinion of City staff, in a position where it is surrounded by other structures of similar vintage or style. Its significance is singular rather than as part of series of structures.

4) The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals

The plan proposed by the Library is specifically cited in the Comprehensive Plan as follows...

“To better serve the region, the library staff has developed a long-range plan to expand the well-used headquarters building. The library owns a building at 1208 Sophia Street and the City owns the adjacent 1210 Sophia Street. These structures as well as the existing library annex will be removed and converted to parking, to be accessible from both Caroline and Sophia Streets. The existing parking behind the library will be vacated, to allow construction of an addition to the main library building, to provide an improved and larger auditorium and other public spaces.<sup>1</sup>”

The City has indicated that it may or may not be able to fund the long-range capital improvement in the near future, but the Library also has a pressing short-term need to provide for additional parking for Library customers. The library is located in an area of the City that is zoned C-T, Commercial Transition. The Library is often thought of as “downtown” but in terms of parking needs the applicant submits that parking by patrons and employees at the Library is more accurately described as a “neighborhood parking” issue, in that the lack of spaces in the library parking lot creates heavy demand for on-street parking on surrounding streets that include a mix of small businesses and houses. Removal of the buildings and construction of additional parking for the library will both support the short- and long-term goals of the Library and provide relief to the neighborhood from parking demand, which is a goal of the Comprehensive Plan.

The Comprehensive Plan does maintain Historic Preservation of City-owned property as an important general goal. However, the specific citation in the Plan to remove the buildings at 1208 and 1210 Sophia Street conveys the intent of the Comprehensive Plan with respect to these properties.

5) The condition and structural integrity of the building or structure, as indicated by documentation prepared by a qualified professional or licensed contractor, or other information, provided to the board for examination.

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<sup>1</sup> *Fredericksburg Comprehensive Plan*, page 48.

“In general, the structure is in fair condition. The City's 2006 architectural survey lists this building as non-contributing to the historic significance of the district. The exterior appears to have been significantly altered due to replacement cladding, the introduction of many additional windows, and the frame addition at the rear. The property was purchased by the CRRL from a private owner in 2001 for \$230,000. The library used the building for storage for several years, but it has been substantially vacated in the last year.” {Kate Schwartz memo to the City Manager – November 8, 2016}.

## 6) Effect on surrounding properties.

### *Immediate Surrounding Area*

The removal of the structures located at 1208 and 1210 Sophia Street will have a positive impact on the continued adaptive re-use of the Central Rappahannock Regional Library Headquarters located at 1201 Caroline Street, which is a major contributing structure in the City's historic district. The history of this landmark building begins with the Fredericksburg High School constructed in 1908. The Library received the building from the City in 1969, and it has been actively used and maintained by the Library since that time. The Headquarters Branch of the Library is the largest structure on the block bounded by Caroline Street, Sophia Street, Lewis Street, and Fauquier Street.

Also in the block, to the north of the Library Headquarters, is the original 1927 Mary Washington Hospital that has been re-developed into Mary Washington Square. Mary Washington Square is currently being negatively impacted by the two vacant properties. Removal of the structures at 1210 and 1208 Sophia Streets would be beneficial to the Mary Washington Square property, and the Central Rappahannock Regional Library.

The residence across the street at 1203 Sophia Street dates from 2003 and is not considered a contributing structure in the historic district. The City owns a vacant lot approximately ½ acre in size on the river side of Sophia Street across from the structures at 1208 and 1210 Sophia Street.

### *Broader Neighborhood Context*

There are a variety of historic residences in the surrounding blocks, as well as other structures. The City's commercial downtown begins approximately one block south, at Amelia Street. The blocks to the north and west are a mix of residential and small commercial enterprises. The Rappahannock River is located to the east of Sophia Street in this area.

## 7) Inordinate hardship.

“An inordinate hardship is an instance when preservation will deprive the owner of reasonable economic use of the property... To establish inordinate hardship under this section the applicant must submit evidence that rehabilitation of the building or structure is impractical, that the building or structure is inappropriate for the proposed use desired by the owner, and that the applicant cannot make reasonable economic use of the property...”<sup>2</sup>

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<sup>2</sup> The paragraph quotes sections of City Code §72-23.1 (3) (7) – the entire complete paragraph is available on-line, but the application is focusing on these criteria as being the most applicable in the case of 1210 Sophia Street.

The underlying rationale for the purchase of this property by the Central Rappahannock Regional Library was the use of the land. The possible renovation and re-use of this structure would not be appropriate for the purposes of the Central Rappahannock Regional Library. The Central Rappahannock Regional Library cannot make reasonable economic use of the structure, because the Library's needs are for additional parking and for eventual expansion of the Library building to serve the public.

The Library requests a Certificate of Appropriateness be granted for the demolition of the structure.

Sources:

Virginia Department of Historic Resources, *Comprehensive Survey Report: Reconnaissance Survey of 1,000 Resources Within the Fredericksburg Historic District and Potential Expansion Area, Fredericksburg Virginia*. 2008.

City of Fredericksburg, *Comprehensive Plan*, 2016

Schwartz, Kate, "Process for Removal or Demolition of 1208 and 1210 Sophia Street," Memorandum to City Manager Timothy J. Baroody, November 8, 2016.



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** January 9, 2017  
**SUBJECT:** Certificate of Appropriateness for new construction at 823 Caroline Street

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### ISSUE

Shawn Phillips requests to construct a deck with approximately 24 feet of frontage on Caroline Street on this vacant lot to provide outdoor seating for the Spencer Devon Brewery. This is the second public hearing for consideration of detailed architectural design and the final proposed project in its entirety.

### RECOMMENDATION

Approval of the request as submitted with the following conditions:

- Ensure that Parallam elements are treated with an appropriate stain and sealer for exposed exterior applications.
- Use smooth-finish Boral trim rather than the “wood grain” texture.
- Apply for and receive an additional Certificate of Appropriateness for signage, lighting, and screening at the rear of the deck.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*City Code § 72-23.1 D(1): New construction*

No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:

- (a) Site planning (continuity of street edge, spacing between buildings, fences and walls, parking);
- (b) Building scale (size, height, facade proportions);
- (c) Building massing (form, roof shape, orientation);
- (d) Roof (shape, pitch, overhang, dormers, skylights, chimneys);
- (e) Windows (type, shape and proportion, rhythm and balance, blinds/shutters);
- (f) Doorways (placement and orientation, type);
- (g) Storefronts (materials, architectural details);
- (h) Exterior architectural elements (entrances, porches and steps, cornices);
- (i) Materials (wall surfaces, foundation, roof); and
- (j) Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities).

*Historic District Handbook**Site Planning* (pg. 69-70)

1. New buildings should be sited to reinforce the traditional street edge.
2. Spacing between new buildings in the downtown commercial district should reinforce the existing street wall.

*Building Scale* (pg. 74)

1. Although the zoning ordinance defines height limitations within the various parts of the city, building height at the street front should be compatible with the prevailing height of the entire block.
2. New buildings that must be taller than the prevailing height should be stepped back so the additional height is not visible from the street.
3. The primary façade of a new commercial building should be modulated with bays to reflect the prevailing width of the adjoining historic buildings.
4. Architectural features—such as porches, entrances, storefronts, and other decorative elements—should be used to reinforce the human scale of the Historic District.

*Building Massing* (pg. 75)

1. Building form should relate to the existing streetscape. If most of the building forms are simple, then the form of a new building should respect that characteristic.
4. New commercial and professional buildings should respect the orientation of similar buildings in the Historic District.

**BACKGROUND**

Formerly home to a millinery shop and a jewelry store, the site at 823 Caroline Street has been vacant since 1958. A permit was issued in July of that year for demolition of the three-story brick building with ornate window hoods, along with the neighboring structures at 825 and 829 Caroline Street. A new building was constructed for the J.C. Penney Department Store on the corner later that year. The lot at 823 Caroline was never redeveloped and does not contribute to the significance of the Historic District.

The applicant proposes to create outdoor seating for the Spencer Devon Brewery at 106 George Street by constructing a deck on this vacant lot. Conceptual approval of the site planning, scale, and massing of the deck was approved at the September 12, 2016 hearing of the Architectural Review Board. The deck will fill the width of the lot between the existing structures at 821 and 825 Caroline Street and will have approximately 24 feet of frontage on Caroline Street. The deck will extend the full length of the lot, running approximately 135 feet.

At Caroline Street, the deck will be constructed level with the sidewalk grade. Approximately 12 feet back from the street, the deck will be raised one foot nine inches. Stairs provide access in the center and an ADA-accessible ramp will be located on the north side. Because of the slope of the site, the deck will rise eight feet nine inches above grade at the rear of the site. In September, the Board approved the location and size of the deck, but did not fully approve the façade and requested additional details regarding its integration with the neighboring structures.

### **Scale and Massing of the Façade Element**

The applicant has provided additional information and some alterations to the design of the façade. There are challenges at this site due to its topography. The lot is heavily sloped down towards the river and a footer wall is buried at the very front of the lot, abutting the sidewalk on Caroline Street. The posts that support the façade can't be placed in direct alignment with the neighboring building walls without disturbing the buried footer. This would require extensive excavation and re-grading of the site. In order to reinforce the traditional street edge, the design of the façade has been altered. The front edge of the canopy element projects forward to align with the front walls of the neighboring buildings. The support posts at the front of the canopy are set immediately behind the buried footer, and are set in nine inches from the front of the neighboring buildings. Additionally, the area under the canopy will be used for seating, helping to maintain an active street presence at the sidewalk. Though not a part of the current application, planned signage and lighting will help to reinforce the street wall at this location. **Approval of the site planning, scale, and massing of the façade element is recommended.**

### **Architectural Details**

After considering site planning, scale, and massing, the Board should evaluate the detailed architectural design of the new structures in accordance with City Code §72-23.1 D(1), items (d) through (j).

**a. Roof (form, pitch, dormers, skylights)**

In general, the deck will be open with no roofing required. The bathroom structures at the rear of the deck will be clad in smooth metal roofing with a rounded profile.

**b. Windows (type, shape and proportion, rhythm and balance, blinds/shutters)**

No windows will be incorporated into this open deck design.

**c. Doorways (placement and orientation, type)**

No doors are necessary to provide access at the front of this open deck. The doors for the bathrooms at the rear of the deck will be single-leaf, painted, solid wood doors. One new fire-rated painted metal door will be installed in the concrete block wall on the south side of the existing Spencer Devon building to provide access to the deck.

**d. Storefronts (materials, architectural details)**

The supports and cross members of the façade will be constructed of Parallam engineered wood. Parallam is made from parallel wood strands bonded together to form beams, headers, columns, and other elements with great strength. This wood product can be painted or stained and is highly durable for exposed applications. The façade will be clad in horizontal slats constructed of Boral TruExterior Trim. Boral trim is a primarily recycled material composed of bonded polymers and ash. Boral is highly resistant to deterioration as a result of moisture; can be milled, cut, and attached in the same way as wood; and provides a visual appearance very similar to wood when painted.

The proposed façade is contemporary in design and the materials align with the style of the deck structure. The design is compatible with the character of the district, but will not create a false historical appearance. The materials selected are appropriate for this use because of their durability; due to the exposed nature of the deck, the façade will experience weathering from all sides. The applicant has proposed to paint all the façade elements in order to ensure an appropriate visual appearance.

**e. Exterior architectural elements (entrances, porches and steps, cornices)**

Steps at the center of the deck will provide access to the raised surface. The decking, steps, and ramp will all be constructed of pressure-treated wood with a stained finish. Railings constructed of two by six painted wood posts with horizontal cables will surround the deck where it does not adjoin a neighboring wall. New wood steps will also provide access to the rear of the deck. Where the south side of the deck extends past the neighboring structure at 821 Caroline, eight-inch thick CMU walls finished with a textured paint will be spaced evenly along the side of the deck. These will extend from grade to four feet above the deck surface and cable railings will run between the walls. A similar wall will also be centered under the back edge of the deck and will be finished with a textured paint and a decorative grid constructed of Boral trim.

**f. Materials (wall surfaces, foundation, roof)**

All deck framing will be two by ten pressure-treated wood topped with two by six pressure-treated deck boards. These will be treated with a stained finish, though the applicant is waiting on confirmation from the Building Official with regards to fire treatment of the decking. The bathroom structures at the rear of the deck will be constructed of wood stud walls clad in Hardie panels, with a decorative grid constructed of Boral trim laid over top. All elements will be painted. The CMU walls at the south and east elevations will be finished with a textured paint that provides a finish similar to stucco. Parallam engineered wood will be used for all structural elements of the façade and Boral trim will be used for cladding. All the materials proposed will be finished or painted in a manner that provides a visual appearance consistent with the guidelines for the Historic District.

**g. Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities)**

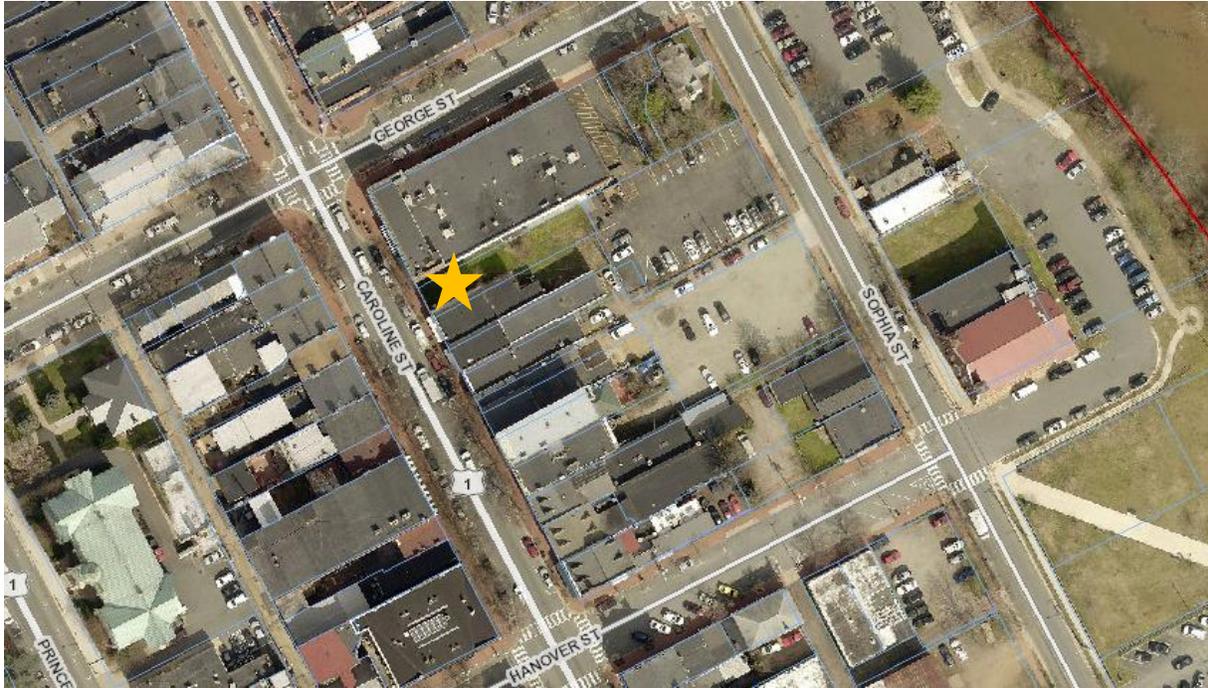
Lighting and signs for the site have not been proposed at this time. Additionally, portions of the rear underside of the deck will not be closed in. It is recommended that the applicant apply for an additional Certificate of Appropriateness for these elements before an Occupancy Permit is issued.

**The design details are in accordance with the Historic District standards and guidelines, and approval is recommended with the following conditions:**

- **Ensure that Parallam elements are treated with an appropriate stain and sealer for exposed exterior applications.**
- **Use smooth-finish Boral trim rather than the “wood grain” texture.**
- **Apply for and receive an additional Certificate of Appropriateness for signage, lighting, and screening at the rear of the deck.**

Attachments:

1. Aerial photograph and front elevation view
2. Historic photograph, 800 block of Caroline Street
3. Material Examples
4. Design Concept Images
5. Product Specifications
6. Design drawings provided by applicant



AERIAL



VIEW LOOKING EAST FROM CAROLINE STREET



View looking southeast from the intersection of Caroline and George Streets at the 800 block of Caroline Street. The building boxed in red was located at 823 Caroline Street and housed a millinery shop and, later, Kaufman's Jewelers. This building, along with the three at the left of the image, was demolished in 1958 to make way for the J.C. Penney Department Store.





Parallam Parallel Strand Lumber



Example of a Parallam beam with stained finish



Examples of Boral TruExterior Trim



Example coating similar to Sto or Thoro



Conceptual image for wood slat façade



Conceptual image for wood slat façade

# NO HASSLES. NO WORRIES.

## PARALLAM PLUS PSL FOR EXPOSED FRAMING APPLICATIONS

Trus Joist® Parallam® Plus PSL, with Wolmanized preservative protection, addresses multiple exposed structural lumber applications. Our strong and longer engineered lumber components enable greater design flexibility and deliver long-term durability even in the harshest conditions.

Decay- and insect-resistant Parallam Plus PSL headers, beams, columns, and posts in a variety of standard dimensions are perfect for framing decks, retaining walls, carports, pool enclosures, and outdoor shelters, among other structural framing applications where the wood comes in direct contact with the ground or moisture.

- Engineered lumber components for long-term durability and performance
- Treated to the core eliminating field treatment when cut or drilled
- Decay and insect-resistant
- The ideal structural solution for most exterior applications
- SFI-certified and NAHB-Approved products that meet National Green Building Standard criteria



**TRUS JOIST® PARALLAM® PLUS PSL**

# DURABILITY AGAINST DECAY... GUARANTEED

The Parallam® Plus PSL manufacturing process allows it to absorb the factory-applied, preservative treatment to its core for complete and long-term protection. The kiln-dried components also resist twisting and checking, and are straighter and span longer than traditional framing products, allowing for the design and construction of outdoor structures that meet your needs.

You want green? The manufacture of Parallam Plus PSL uses nearly all of each log and our timber comes from certified managed forests. The strength and long-span capabilities of our components result in less required materials and less waste, while improving structural integrity and overall building performance.

- Install Parallam Plus PSL posts and columns directly into the ground
- Available in standard sizes to accommodate wood-framing practices
- Paint or stain with oil-based coatings to meet aesthetic needs while maintaining moisture-resistant qualities
- Safe for interior and/or dry applications, as well
- 30-year limited warranties provide long-term peace of mind

Parallam Plus PSL header and beam sizes:

3½" x 9¼"	5¼" x 9¼"
3½" x 11⅞"	5¼" x 11⅞"
3½" x 14"	5¼" x 14"
3½" x 16"	5¼" x 16"

Parallam Plus PSL column and post sizes:

3½" x 5¼"	7" x 7"
5¼" x 5¼"	

For more information about product availability in your area, contact your Trus Joist representative.



## PARALLAM PLUS PSL BENEFITS

- The right choice in applications where exposure results in a high moisture condition
- Long lengths offer more design flexibility
- Consistently straight and strong to perform in the most demanding structural applications
- Manufactured to resist twisting
- Applications include decks, balconies, and carports
- Columns and posts can be installed directly in the ground, and withstand saltwater splash

**LIMITED 30-YEAR WARRANTY**

**Trus Joist® Parallam® Plus PSL**

**Guaranteed Against Manufacturing Defects, Twisting and Split**

Trus Joist and its Representative, Trus Joist® Parallam® Plus PSL, warrants against decay, insect damage, and other defects for a period of 30 years from the date of installation. This warranty is limited to the original purchaser of Parallam Plus PSL and is not transferable. The warranty is void if the product is not installed in accordance with the manufacturer's instructions. The manufacturer of Parallam Plus PSL, and its Representative, shall not be held liable for any damage or loss resulting from the use of Parallam Plus PSL in applications for which it is not intended.

**Manufacturing Defects for Outdoor Decks, Balconies and Columns**

Parallam Plus PSL is warranted against manufacturing defects, twisting and splitting for a period of 30 years from the date of installation. This warranty is limited to the original purchaser of Parallam Plus PSL and is not transferable. The warranty is void if the product is not installed in accordance with the manufacturer's instructions. The manufacturer of Parallam Plus PSL, and its Representative, shall not be held liable for any damage or loss resulting from the use of Parallam Plus PSL in applications for which it is not intended.

**Twisting and Splitting**

Parallam Plus PSL is warranted against twisting and splitting for a period of 30 years from the date of installation. This warranty is limited to the original purchaser of Parallam Plus PSL and is not transferable. The warranty is void if the product is not installed in accordance with the manufacturer's instructions. The manufacturer of Parallam Plus PSL, and its Representative, shall not be held liable for any damage or loss resulting from the use of Parallam Plus PSL in applications for which it is not intended.

**Decay and Insect Damage**

Parallam Plus PSL is warranted against decay and insect damage for a period of 30 years from the date of installation. This warranty is limited to the original purchaser of Parallam Plus PSL and is not transferable. The warranty is void if the product is not installed in accordance with the manufacturer's instructions. The manufacturer of Parallam Plus PSL, and its Representative, shall not be held liable for any damage or loss resulting from the use of Parallam Plus PSL in applications for which it is not intended.

**Application Limitations**

Parallam Plus PSL is not intended for use in applications where it is exposed to saltwater splash or other conditions that may cause it to deteriorate. The manufacturer of Parallam Plus PSL, and its Representative, shall not be held liable for any damage or loss resulting from the use of Parallam Plus PSL in applications for which it is not intended.

**ARCH WOOD PROTECTION, INC. PARALLAM PLUS PSL 30-YEAR LIMITED WARRANTY**

Arch Wood Protection, Inc. ("AWP") warrants that the Parallam Plus PSL (the "Product") is free from manufacturing defects for a period of 30 years from the date of installation. This warranty is limited to the original purchaser of the Product and is not transferable. The warranty is void if the Product is not installed in accordance with the manufacturer's instructions. AWP shall not be held liable for any damage or loss resulting from the use of the Product in applications for which it is not intended.

AWP warrants that the Product is free from manufacturing defects for a period of 30 years from the date of installation. This warranty is limited to the original purchaser of the Product and is not transferable. The warranty is void if the Product is not installed in accordance with the manufacturer's instructions. AWP shall not be held liable for any damage or loss resulting from the use of the Product in applications for which it is not intended.

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**CONTACT US | 888.453.8358 | TRUSJOIST.COM**

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# Boral TruExterior® Trim

PRODUCT & INSTALLATION GUIDE



# A New Category of Exterior Trim

## A New Category of Exterior Trim

- The first and only Poly-ash trim product, consisting of a blend of proprietary polymers and coal combustion products (ash).
- Poly-ash composition provides consistency throughout the material with virtually no moisture cycling<sup>+</sup> or expansion and contraction<sup>+</sup>.
- Developed with years of rigorous internal and 3rd party testing, proven with thousands of installations.
- Composed of more than 70% recycled materials.
- Boral TruExterior® Trim is a product you can trust to provide exceptional performance, superior workability and a lasting appearance for exterior applications.

## An Excellent Exterior Trim Alternative

### Like Wood, Boral TruExterior® Trim...

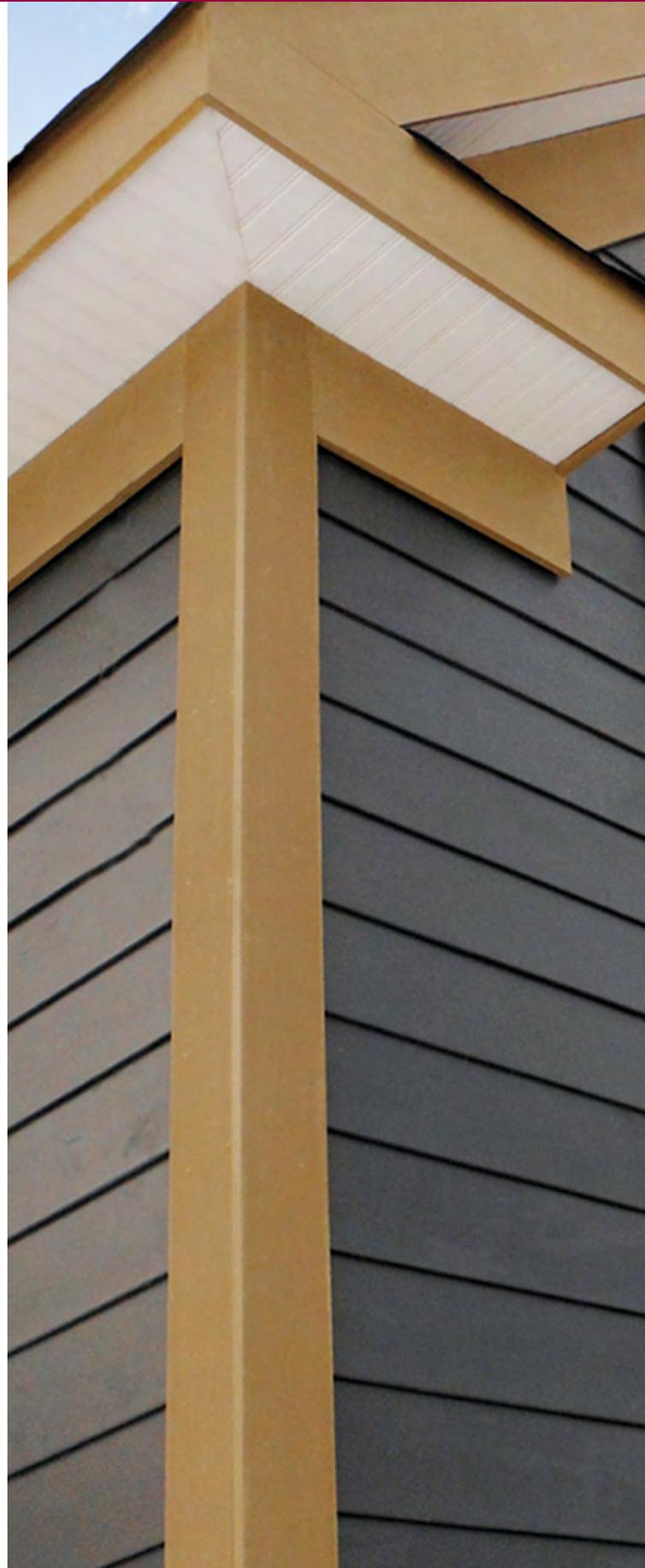
- is easy to handle (similar weight)
- is reversible with an authentic wood grain and smooth side
- is easy to cut, rout, drill and fasten
- can be installed with the same tools

### Unlike Wood, Boral TruExterior® Trim...

- is a low maintenance product
- has exceptional durability
- is resistant to rotting, cracking, splitting from moisture and virtually free from termites<sup>+</sup>
- offers excellent workability

### Unlike most other trim products, Boral TruExterior® Trim...

- maintains a high level of dimensional stability during periods of moisture and temperature change<sup>+</sup>
- is suitable for ground contact
- does not require end-sealing, special adhesives or other cumbersome and costly installation techniques
- can be painted any color
- contains one of the highest levels of recycled content



<sup>+</sup>Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at [www.BoralTruExterior.com](http://www.BoralTruExterior.com)

# Boral TruExterior® Trim

## Available Sizes

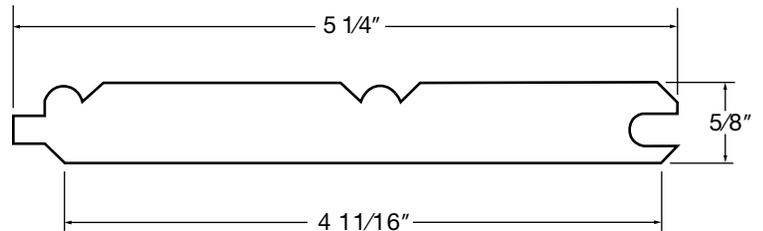
Boral TruExterior® Trim is reversible with wood grain on one side and a smooth finish on the reverse. It comes in 16' lengths and is available in both 4/4 and 5/4 thicknesses (3/4" and 1" actual, respectively).

4/4 Nominal Thickness <i>nominal size</i>	3/4" Actual Thickness <i>actual size</i>	5/4 Nominal Thickness <i>nominal size</i>	1" Actual Thickness <i>actual size</i>	2" Nominal Thickness <i>nominal size</i>	1 1/2" Actual Thickness <i>actual size</i>
1 x 4	3/4" x 3 1/2"	5/4 x 4	1" x 3 1/2"	2 x 4	1 1/2" x 3 1/2"
1 x 5*	3/4" x 4 1/2"	-	-	-	-
1 x 6	3/4" x 5 1/2"	5/4 x 6	1" x 5 1/2"	2 x 6	1 1/2" x 5 1/2"
1 x 8	3/4" x 7 1/4"	5/4 x 8	1" x 7 1/4"	2 x 8	1 1/2" x 7 1/4"
1 x 10	3/4" x 9 1/4"	5/4 x 10	1" x 9 1/4"	2 x 10	1 1/2" x 9 1/4"
1 x 12	3/4" x 11 1/4"	5/4 x 12	1" x 11 1/4"	2 x 12	1 1/2" x 11 1/4"

\*Subject to regional availability.

## Beadboard Product Dimensions

Nominal Dimensions	Actual Dimensions
5/8 x 6 x 16	5/8" x 5 1/4" x 16'



# The Exterior Trim Landscape

## Boral TruExterior® Trim compared to Other Trim Options

	BORAL TRUEXTERNAL® TRIM	WOOD TRIM	CELLULAR PVC TRIM	FIBER CEMENT TRIM	ENGINEERED/ COMPOSITE TRIM
No Special Tools Required	•	•	•		•
Easily Routed	•	•	•	✓	✓
Consistent Density	•		✓	•	
Fasten Close to Edge of Product	•		•		
Readily Accepts Wide Variety of Fasteners	•	✓	✓		
No Special Paint Needed For Light or Dark Colors	•	•		•	•
No Additional Safety Precautions Needed While Cutting	•	•	•		•
Installs the Same Way at All Temperatures	•	•		•	•
No Need to Prime End or Field Cuts	•		•		
No Need for Adhesives to Limit Movement	•	•		•	•
Dimensionally Stable After Installation <sup>+</sup>	•	✓		•	
Suitable for Ground and Masonry Contact	•		•		
No Cracking or Splitting from Moisture <sup>+</sup>	•		•	✓	✓
Resistant to Fungal Decay <sup>+</sup>	•		•		
Over 70% Recycled Content <sup>+</sup>	•				
Made in the USA	•	✓	✓	✓	✓

● All in Category    ✓ Some in Category

<sup>+</sup>Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at [www.BoralTruExterior.com](http://www.BoralTruExterior.com)

# The Sustainable Solution

In the U.S., Boral continues the company's mission of being a leader in sustainability by engaging in such areas as alternative fuel sources and waste water management systems.



- Boral is committed to global environmental stewardship, which is reflected in Boral TruExterior® Trim – the first and only exterior trim product to be awarded a Cradle to Cradle certification (C2C). C2C is a multi-attribute, eco-label that assesses a product's safety to humans, environment and design for future life cycles. Within the terms of the certification program, this means pursuing the following ideals:
  - Using material that is safe for human health and the environment
  - Designing products and systems for material recovery and reutilization, such as recycling or composting
  - Using renewable energy
  - Efficiently using water and realizing maximum water quality associated with production
  - Instituting strategies for social responsibility

*For more information on Cradle to Cradle Certification, please visit [www.C2Ccertified.com](http://www.C2Ccertified.com)*

Cradle to Cradle Certified™ is a certification licensed by the Cradle to Cradle Products Innovation Institute.



- Boral TruExterior® Trim boasts the highest recycled content among all exterior trim products with a SCS Global Certified minimum 70% recycled content. The SCS Recycled Content certification is designed to help manufacturers make credible claims about their products by increasing the use of recycled materials which reduces solid waste and natural resource consumption. All claims are certified in accordance with U.S. Federal Trade Commission's Guides for the Use of Environmental Marketing.

*For more information on SCS Global, please visit [www.SCSglobalservices.com](http://www.SCSglobalservices.com)*



- Coal Combustion products are endorsed by the U.S. Green Building Council for use in construction materials.

*For more information on the U.S. Green Building Council, please visit [www.USGBC.org](http://www.USGBC.org)*

- Boral TruExterior® Trim is produced in a state of the art LEED Silver Certified facility in East Spencer, NC.



# Installation Guidelines

The following information offers typical installation techniques when working with Boral TruExterior® Trim. This product should never be used in structural or load bearing applications. These directions are guidelines. As with installing any building material, care should be taken to adhere to local code requirements and construction best practices to ensure installation is adequate for each specific application.

## Storage and Handling

Boral TruExterior® Trim should be stored on a flat, level surface. Pallets are shipped from the manufacturing facility in a protective covering and each board has a factory applied primer, so care should be taken to keep the board covered and free of dirt and debris. If the board gets dirty, make sure to clean and dry it prior to painting.

## Working With Boral TruExterior® Trim

This product is an excellent replacement for wood trim and can be installed using proven woodworking tools and methods. For ease of use, consider the following before working:

- **Cutting** – Boral TruExterior® Trim can be cut using standard saw blades. However, for longer tool life carbide tipped blades are recommended.
- **Routing & Drilling** – Boral TruExterior® Trim can be drilled and routed using standard woodworking tools, but a carbide tipped router and drill bits are recommended.
- **Fastening**
  - Use fasteners designed for exterior trim and siding
  - Use 2 fasteners per every framing member and 3 fasteners for all 12" wide boards.
  - Fasteners should be installed every 24" OC or less. For best results, place fasteners within 2" of the edge of each board.

For 2x applications:

- Use a fastener that is long enough to penetrate a solid wood substrate a minimum of 1 1/2"
- Fasteners should penetrate a framing member. Sheathing alone may not provide adequate support or holding power.
- **Safety** – In working with any product that may cause airborne debris such as nuisance dust, be sure to take proper measures to protect against eye and inhalation hazards.

**Standard nail guns and screws can be used to install Boral TruExterior® Trim** as it takes a variety of fasteners with ease and does not mushroom at the screw head nor require pre-drilling.

**Boral TruExterior® Trim is a non-structural building material** and should never be used in load-bearing or structural applications. Fasteners should be installed every 24" OC or less. For best results, be sure to place fasteners within 2" of the end of every board. Proper care should be taken to understand the desired application and ensure that proper framing and fasteners are adequate for the installation.

**Expansion and Contraction** – Boral TruExterior® Trim is very stable\* during periods of temperature and moisture change; no special precautions are necessary to control or limit movement.

**Use at Grade** – Since Boral TruExterior® Trim is virtually impervious to water absorption, termite attacks and won't rot\*, it is approved for ground contact.

**Nail Holes and Repair** – Filling nail and screw holes or repairing any minor damage caused by handling may be done using high-grade acrylic caulk or wood fillers.

**Painting Boral TruExterior® Trim is a requirement, and failure to do so will void the warranty.** As in preparing for any painting project, be sure the surface of the product is free of dirt, debris or other contaminants prior to paint application. Boral TruExterior® Trim can be painted using any high grade exterior paint. Make sure to follow the paint manufacturer's application recommendations.

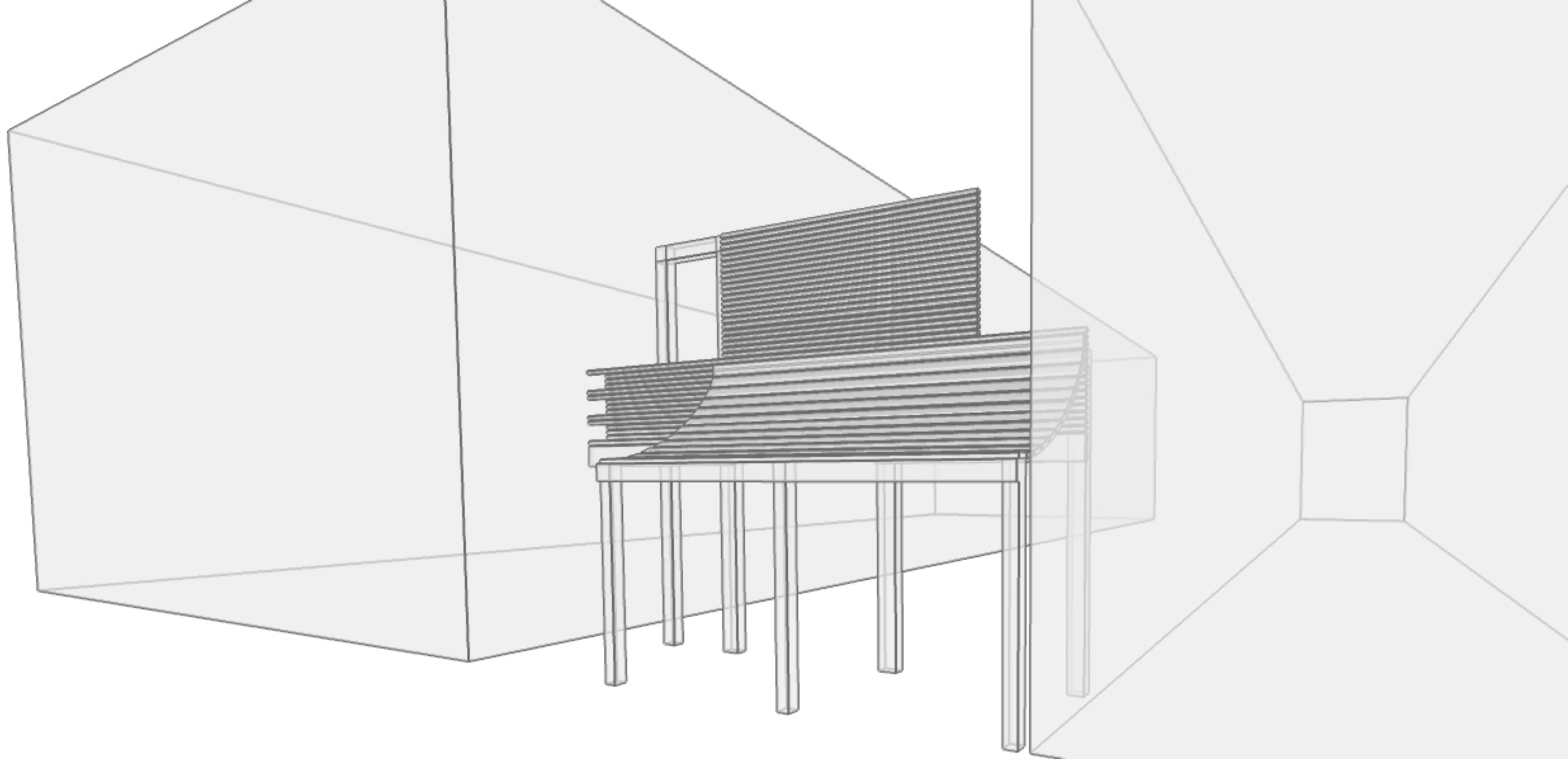
More information can be found in Boral's technical bulletin for paint or in the product warranty. Both documents can be found at [www.BoralTruExterior.com](http://www.BoralTruExterior.com).

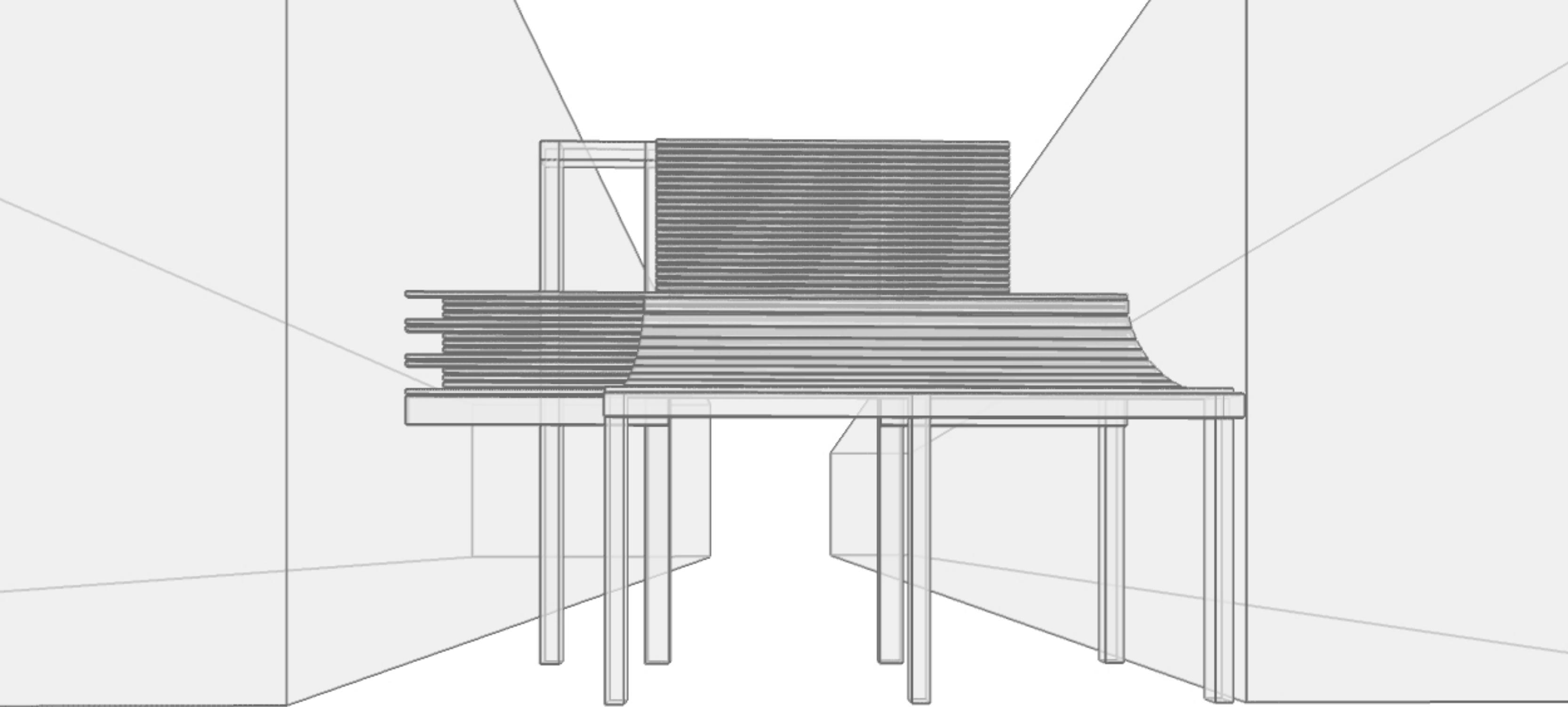
**Boral TruExterior® Trim may be painted any color without special precaution** as the product is not prone to excessive movement due to heat buildup.\*

**Boral TruExterior® Trim is virtually impervious to moisture\***, so there is no need to prime or paint end-cuts or field-cut edges.

**Moisture cycling is a primary cause for paint failure on wood products.** Since Boral TruExterior® Trim is resistant to this moisture cycling\*; paint will perform better.

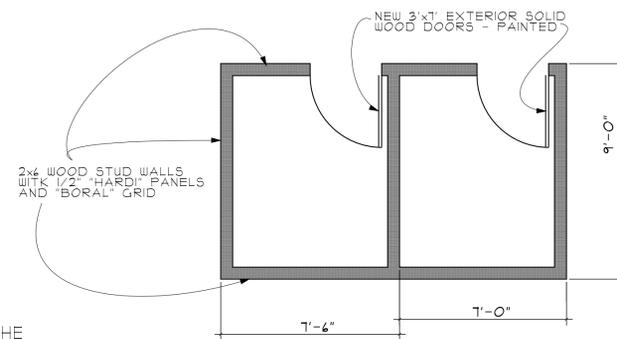
\*Please see the Boral TruExterior® Trim Product Data Sheet at [www.BoralTruExterior.com](http://www.BoralTruExterior.com) for property test results.



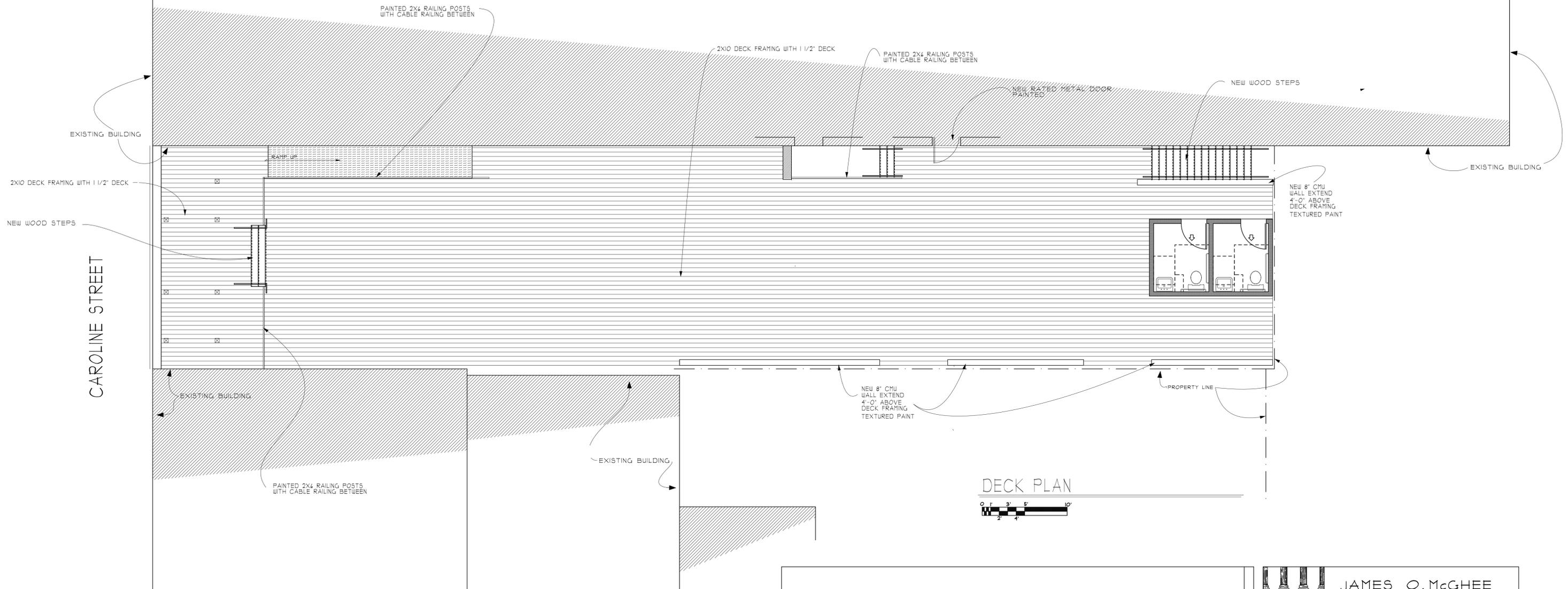


**GENERAL NOTES**

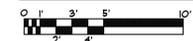
- ALL EXPOSED WOOD WILL BE PAINTED
- ALL BORAL FRAMING WILL BE FACTORY FINISHED
- TEXTURED "PAINT" WILL BE THORO OR STO COATINGS
- ALL FACADE STRUCTURAL MEMBERS WILL BE PARALAM PAINTED
- ALL WOOD DECKING WILL BE 2x6s PRESSURE TREATED WITH STAIN FINISH. THE BUILDING OFFICAL MAY REQUIRE THEY BE FIRE TREATED WITH NO STAIN FINISH
- ALL EXPOSED WOOD STAIR MEMBERS TO HAVE A STAIN FINISH.



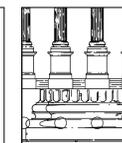
**LARGE SCALE TOILETS PLAN**



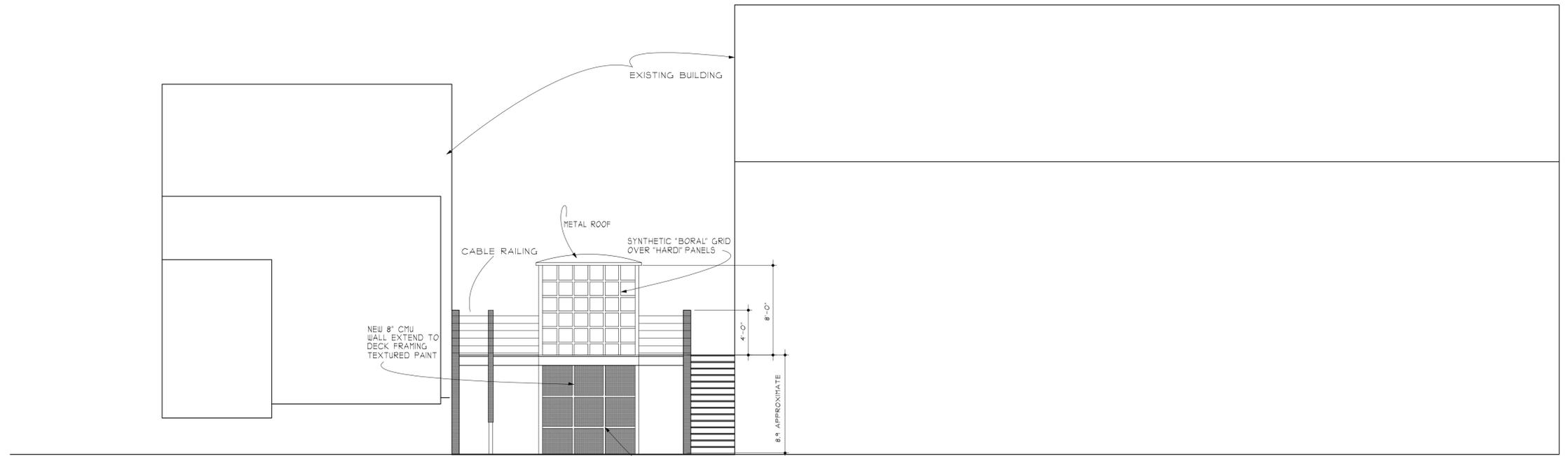
**DECK PLAN**



DECK for SPENCER DEVON BREWERY  
 823 CAROLINE STREET  
 FREDERICKSBURG, VIRGINIA



**JAMES O. MCGHEE**  
 ARCHITECTS, P.C.  
 400 CAROLINE STREET  
 FREDERICKSBURG, VIRGINIA 22401  
 Phone 540 371 1011 • Fax 540 371 5831



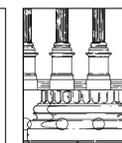
ELEVATION from SOPHIA STREET



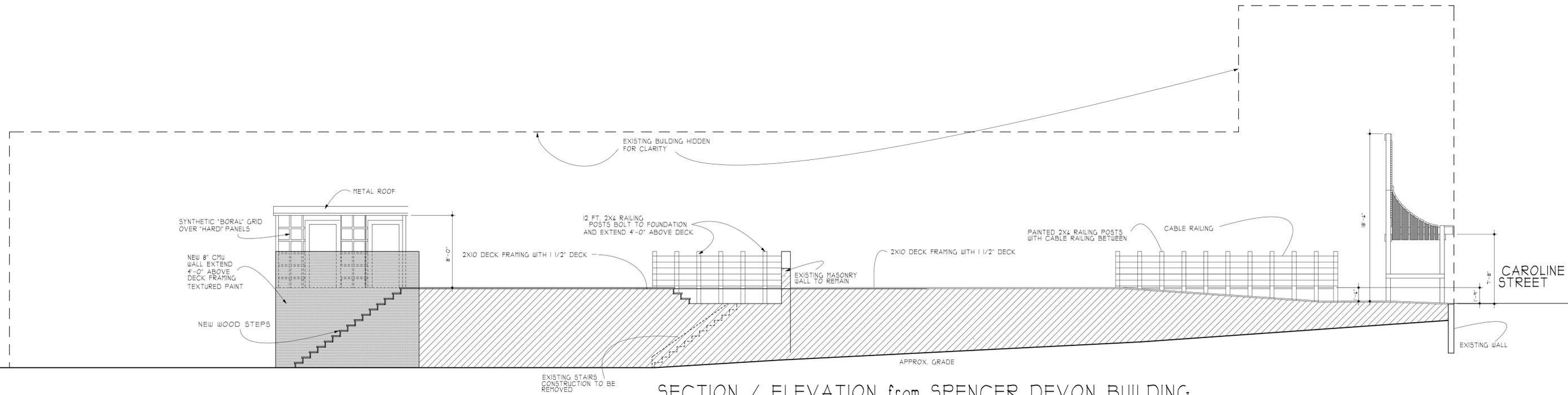
ELEVATION from CAROLINE STREET

"FACADE ELEVATION WITH "CANOPY"

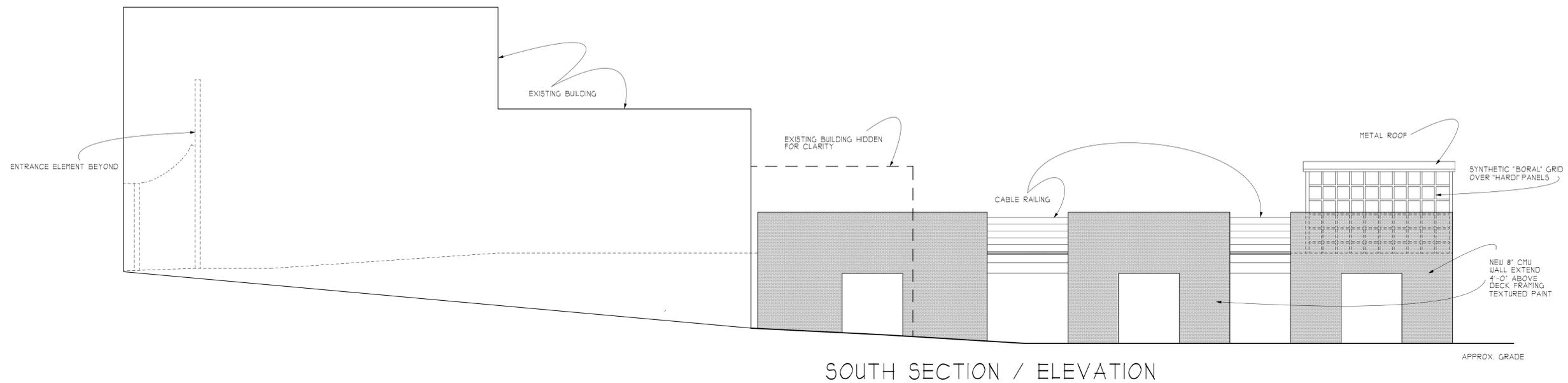
DECK for SPENCER DEVON BREWERY  
 823 CAROLINE STREET  
 FREDERICKSBURG, VIRGINIA



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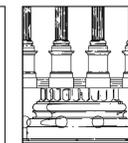


SECTION / ELEVATION from SPENCER DEVON BUILDING



SOUTH SECTION / ELEVATION

DECK for SPENCER DEVON BREWERY  
 823 CAROLINE STREET  
 FREDERICKSBURG, VIRGINIA



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