



**ARCHITECTURAL REVIEW BOARD  
CITY OF FREDERICKSBURG, VIRGINIA  
AGENDA  
October 17, 2016  
7:00P.M.  
COUNCIL CHAMBERS, CITY HALL**

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1. Call To Order
2. Determination Of A Quorum
3. Determination That Public Notice Requirements Have Been Met
4. Approval Of Agenda
5. Review Of Minutes Of Previous Meeting(S)

5.I. September 12, 2016 - Public Hearing

Documents:

[03-2016-09-12\\_ARBMINUTES.PDF](#)

5.II. September 12, 2016 - Supplementary Meeting

Documents:

[04-2016-09-12\\_ARBSUPPMINUTESDRAFT.PDF](#)

5.III. September 26, 2016 - Supplementary Meeting

Documents:

[05-2016-09-26\\_ARBSUPPMINUTESDRAFT.PDF](#)

6. Disclosure Of Ex Parte Communication
7. Disclosure Of Conflicts Of Interest
8. Consent Agenda

8.I. COA2016-12 - 100 Hanover Street

Documents:

[06-COA 2016-12\\_ARBMEMO\\_100 HANOVER STREET\\_10-17-2016.PDF](#)

9. Public Hearing

9.I. Continued Cases

9.I.i. COA 2016-30 - 319 Prince Edward Street

Documents:

[07-10-17-2016\\_COA 2016-30\\_ARBMEMO\\_319 PRINCE EDWARD STREET.PDF](#)

9.II. New Business

9.II.i. Signs

9.II.i.1. COA 2016-45 -909 Princess Anne Street

Documents:

[08-COA 2016-45\\_ARBMEMO\\_909 PRINCESS ANNE STREET - MARKET SQUARE ALLEY.PDF](#)

9.II.i.2. COA 2016-57 - 707 Caroline Street

Documents:

[09-COA 2016-57\\_ARBMEMO\\_707 CAROLINE STREET.PDF](#)

9.II.i.3. COA 2016-59 - 1110 Caroline Street

Documents:

[10-COA 2016-59\\_ARBMEMO\\_1110 CAROLINE STREET.PDF](#)

9.II.i.4. COA 2016-60 - 619 Caroline Street

Documents:

[11-COA 2016-60\\_ARBMEMO\\_619 CAROLINE STREET.PDF](#)

9.II.ii. Fences & Accessory Structures

9.II.ii.1. COA 2016-58 - 1011 Charles Street

Documents:

[12-COA 2016-58\\_ARBMEMO\\_1011 CHARLES STREET-FRED BAPTIST CHURCH.PDF](#)

9.II.ii.2. COA 2016-62 - 720 William Street

Documents:

[13-COA 2016-62\\_ARBMEMO\\_720 WILLIAM STREET.PDF](#)

9.II.ii.3. COA 2016-65 - 2410 Caroline Street

Documents:

[14-COA 2016-65\\_ARBMEMO\\_2410 CAROLINE STREET-OLD MILL PARK.PDF](#)

9.II.iii. Exterior Alterations

9.II.iii.1. COA 2016-61 7 Lafayette Station

Documents:

[15-COA 2016-61\\_ARBMEMO\\_7 LAFAYETTE STATION.PDF](#)

9.II.iii.2. COA 2016-63 - 201-203 William Street

Documents:

[16-COA 2016-63\\_ARBMEMO\\_201-203 WILLIAM STREET.PDF](#)

9.II.iii.3. COA 2016-64 - 1516 Caroline Street

Documents:

[17-COA 2016-64\\_ARBMEMO-1516 CAROLINE STREET.PDF](#)

9.II.iii.4. COA 2016-67 - 1207 Charles Street

Documents:

[18-COA 2016-67\\_ARBMEMO-1207 CHARLES STREET.PDF](#)

10. General Public Comment

11. Other Business

12. Adjournment



**Minutes**  
**Architectural Review Board**  
September 12, 2016  
Council Chambers, City Hall  
Fredericksburg, Virginia

**Members Present**

John Harris, Chair  
Sabina Weitzman, Vice Chair  
Susan Pates  
Jon Van Zandt  
Jamie Scully  
Kerri S. Barile  
Kenneth McFarland

**Members Absent**

**Staff**

Kate Schwartz  
Chuck Johnston  
Camilla Jacobs

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Mr. Harris called the Architectural Review Board meeting to order at 7:02 p.m.

**OPENING REMARKS**

Mr. Harris determined that a quorum was present and asked if public notice requirements had been met. Ms. Schwartz stated that they had.

**APPROVAL OF AGENDA**

Mr. Harris asked if there were any changes or additions to the agenda. Ms. Schwartz added additional items to other business: George Street Brownstones and 623 Caroline Street. Dr. Barile made a motion to approve the agenda as presented with additions. The motion carried unanimously.

**APPROVAL OF MINUTES**

Mr. Harris asked if there were any changes or additions to the minutes.

In regards to COA 2016-42 1308 Caroline Street in the minutes of the August 8, 2016 hearing, Ms. Weitzman asked for a correction to show that she had abstained from the vote due to a conflict of interest. The motion carried 5-0-1.

Mr. Van Zandt made a motion to approve the August 8, 2016 minutes as amended. The motion carried unanimously.

Mr. Van Zandt made a motion to approve the July 25, 2016 Supplementary Meeting minutes as presented. The motion carried unanimously.

## **DISCLOSURE OF EX PARTE COMMUNICATIONS**

Mr. Harris asked if any Board member had engaged in any *ex parte* communication on any item before the Board. Mr. Van Zandt shared that he had received a telephone call and conversation ensued with applicant Charles Stevens – COA 2016-51, concerning the mechanical equipment. He stated that he quickly went over the application with him and advised him he was looking forward to hearing the case. Ms. Weitzman and Ms. Pates also expressed they had received phone calls.

## **DISCLOSURE OF CONFLICTS OF INTEREST**

Mr. Harris asked if any Board member had a conflict of interest for any item before the Board.

Dr. Barile said she would be abstaining from COA 2016-49 1104 Charles Street as the applicant is her business partner.

Mr. Scully would be abstaining from COA 2016-56 1002 Sophia Street as the applicant is a client of his in this particular space.

## **PUBLIC HEARING**

### **A. New Business**

- i. COA 2016-51 - 909 Sophia Street – Charles Stevens requests a Certificate of Appropriateness to replace existing mechanical equipment and install additional equipment at the rear/east elevation of this commercial structure.**

The applicant, Charles Stevens, 1210 Littlepage Street, was present. There was no public comment.

Mr. Scully made a motion to approve the request as presented. Mr. Van Zandt seconded. The motion passed unanimously.

- ii. COA 2016-52 – 815 Caroline Street - Deb Foley requests a Certificate of Appropriateness to install a 30 inch by 16 inch hanging sign and a 42 inch by 26 inch window decal for the Taste Oil Vinegar Spice business.**

The applicant, Deb Foley, 57 Royal Crescent Way, was present. She explained she purchased the business in July and wanted to redesign the logo to help identify her product. There was no public comment.

Mr. McFarland made a motion to approve the request as presented. Dr. Barile seconded. The motion passed unanimously.

- iii. COA 2016-53 – 311 Frederick Street – Garrett Green requests a Certificate of Appropriateness to install one three foot by five foot freestanding sign for the Green Fitness business.**

The applicant, Garrett Green, 164 Cranes Corner Road, was present. Mr. Green stated the word “Wellness” would be added to the sign. There was no public comment.

Mr. Van Zandt made a motion to approve the request as presented. Mr. McFarland seconded. The motion passed unanimously.

**iv. COA 2016-56 – 1002 Sophia Street – Kathy Craddock requests a Certificate of Appropriateness to install one six foot by three foot building –mounted sign for the Kickshaws Kitchen business.**

The applicant, Kathy Craddock, 7609 Regency Glen Drive, Spotsylvania, was present. There was no public comment.

Dr. Barile made a motion to approve as submitted with the recommendation that the sign be installed through the mortar joints rather than the historic brick. Ms. Weitzman seconded. The motion passed 6-0-1 with Mr. Scully abstaining.

**v. COA 2016-49 – 1104 Charles Street – Michael Carmody requests a Certificate of Appropriateness to install solar panels on portions of the rear/west and side/south roof areas of this single family residence.**

The applicant, Michael Carmody was present. He mentioned the full canopy of trees and a magnolia tree that would help hide the panels. He would remove the panels at or near the end of their 25-year life span. All work is reversible. There was no public comment.

Ms. Pates asked the applicant about the purpose of the panels. He explained their use would be for generating electricity to any features of his home; lights, AC, hot water heater, etc.

Mr. Van Zandt made a motion to approve the request as presented. Ms. Pates seconded. The motion passed 6-0-1 with Dr. Barile abstaining.

**vi. COA 2016-54 – 823 Caroline Street – Shawn Phillips requests a Certificate of Appropriateness to construct a deck with approximately 24 feet of frontage on Caroline Street on this vacant lot to provide outdoor seating for the Spencer Devon Brewery.**

The applicant, Shawn Phillips, 377 Caisson Drive, was present as well as James McGhee, 600 Caroline Street, architect. There was no public comment.

Discussion was held regarding materials for the deck, design, and elevation as well as site planning and massing. Mr. McGhee addressed the Board regarding their questions and concerns about the design, materials, existing retaining wall and concerns about noise.

Dr. Barile stated that her primary concern was ensuring that the façade would be at street level to ensure the continuity of the block. Mr. McGhee said the supporting elements of the façade had to be set behind an existing retaining wall that could not be moved. Dr.

Barile clarified that some elements of the façade at least should extend to the street and match the neighboring buildings.

Ms. Pates and Ms. Weitzman asked for clarification of the approval procedure for this application. Ms. Schwartz stated that this was the first of two hearings, for approval of the footprint, size, and general configuration of the deck. Details, and the final proposed project in its entirety, would be considered at a second hearing.

Mr. Van Zandt made a motion to approve the horizontal elements of the scale, massing, and site planning of the project, with vertical elements specifically related to the front facade to be determined. Ms. Weitzman seconded. The motion carried unanimously.

**vii. COA 2016-55 – 718 Caroline Street – Michael Colangelo requests a Certificate of Appropriateness to alter the ground-floor storefront, install a 3 foot by 3 foot building-mounted sign, and install exterior lighting for the commercial structure.**

The applicant, Michael Colangelo was present as well as the contractor Jay Holloway, 100 Fauquier Street.

James McGhee, 600 Caroline Street, commented that he thought the sign design was a good direction for the district.

Ms. Weitzman commented that the project was very nice, but questioned why an image of all glass doors was provided in the packet. Mr. Holloway explained that the image was intended to show the illustration of the decal.

Dr. Barile asked for clarification that the entire storefront below the intermediate cornice was installed in 1979. The Board discussed HFFI's easement on the property with Emily Taggart-Schricker, president. Ms. Taggart-Schricker clarified that HFFI had reviewed the plans and had no major concerns.

Mr. Van Zandt made a motion to approve the application on condition that a fourth light was added above the door to the upstairs residence. Mr. Scully seconded. The motion carried unanimously.

## **CONTINUED CASES**

**A. COA 2016-12 – Hanover Street – Tommy Mitchell requests a Certificate of Appropriateness to:**

- Demolish the existing structure at 106-108 Hanover Street and 718 Sophia Street
- Construct a new four-story mixed-use masonry building. The building footprint will be 155 feet along Sophia Street, with ground level parking.

Tommy Mitchell, applicant, and James McGhee, the project architect, were present. Mr. McGhee distributed handouts to the Board.

Mr. McFarland asked that applicant please point out current changes to the project. Mr. McGhee presented examples of other buildings of a similar size and height in the Historic District for comparison. He also highlighted what has changed: the sawtooth element is removed from the façade; stepped walls at corners are removed; parapet edges are defined differently.

Mr. Harris reminded that Board that the public hearing was for potential approval of the site planning, scale, and massing, as well as demolition of the existing buildings. He recommended avoiding discussion of materials and design details and opened the public hearing.

Danae Peckler, 1410 Prince Edward Street, commented that she agreed with the staff recommendations for moving forward. She recommended incorporating elements of a gable roof design into the building to better relate to the surrounding context.

Jay Brown, 725 Jackson Street, commented that he was on the ARB in 2013. He said this was a totally different design from the previous approval and that the comments from staff were well-founded. He said computer-generated models make the building look plain and don't include texture. He commented that the rear elevation with convex windows and rear or alley elevations are improved. He's in favor of the building with a 4-story format and said these details are very important to this design and building.

Mr. Johnston asked about the setbacks on Sophia Street and discussion ensued regarding fire vehicle access and alley way.

Mr. Scully thanked Mr. McGhee for the change to the V-shape in the parapet and other stepped profiles, but is still concerned about the design. The small, square windows appear to give it a southwestern feel. He said that tall, narrow massing of sections of the building doesn't seem typical of other buildings in the district.

Ms. Weitzman mentioned concerns about the height and form of all the parts. She said the variation in materials and massing is too much.

Mr. Van Zandt commented on height consideration and said the stepped features should be minimized or eliminated completely. Dr. Barile commented that she was having a hard time seeing past all the different materials. She recommended simplifying either the materials or the massing.

Ms. Schwartz redirected the Board on what to consider during the first public hearing. Dr. Barile said she was comfortable with the footprint and the massing, but not details. Ms. Weitzman said she thought the height could be approved, but additional details were needed.

Mr. Scully made a motion to consider height; Mr. Van Zandt requested an additional meeting. Ms. Weitzman requested a simple drawing to show height without the distraction of other details. Mr. Scully withdrew his motion and made a new motion to table the

application to a work session on September 26. Mr. Van Zandt seconded. The motion passed unanimously.

### **GENERAL PUBLIC COMMENT**

There was no public comment.

### **OTHER BUSINESS**

**A.** Transmittal of Planning Commission agenda

The agenda for the September 14, 2016 Planning Commission meeting was distributed.

**B.** Discussion: Informal Review of Alterations at 1010 Caroline Street

Sean Haynes, Lifecycle Construction, presented a new design for rehabilitation of the structure maintaining the current roof design. Mr. Haynes requested feedback from the Board in advance of a formal submission. The proposal included maintaining the existing roof, extending the height of the storefront windows, and adding residential units to the roof. Dr. Barile thanked Mr. Haynes for maintaining the historic features of the building. The Board made several suggestions to consider for moving forward with the current design.

**C.** Discussion: Brownstones

Ms. Schwartz distributed new elevations for the George Street Brownstones project and stated that they would be considered by City Council on September 27, 2016.

**D.** 623 Caroline Street (2014)

Mr. McGhee said that he would soon be submitting an application for renewal of the Certificate of Appropriateness for exterior alterations at this property, the Chimneys. He asked if the Board had any major concerns about the project. The Board said they did not see any immediate concerns, but would need to evaluate the project in a public hearing.

### **ADJOURNMENT**

Ms. Weitzman made a motion to adjourn. Dr. Barile seconded. The motion carried unanimously.

Meeting adjourned at 9:55 p.m.

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John Harris, ARB Chair



**Minutes**  
**Architectural Review Board**  
**Supplementary Meeting**  
September 12, 2016  
Room 214, City Hall  
Fredericksburg, Virginia

**Members Present**

John Harris, Chair  
Sabina Weitzman, Vice Chair  
Susan Pates  
Jamie Scully  
Kerri S. Barile  
Kenneth McFarland

**Members Absent**

Jon Van Zandt

**Staff**

Kate Schwartz

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Mr. Harris called the Architectural Review Board meeting to order at 6:02 p.m.

**OPENING REMARKS**

Mr. Harris determined that a quorum was present and asked if public notice requirements had been met. Ms. Schwartz stated that they had.

Mr. Harris noted that the meeting was to discuss legal matters with their attorney, L. Eden Burgess, who was present.

**DISCLOSURE OF EX PARTE COMMUNICATIONS**

Mr. Harris asked if any Board member had engaged in any *ex parte* communication on any item before the Board. Dr. Barile and Ms. Weitzman stated that they had met with City Attorney Kathleen Dooley and City Manager Tim Baroody regarding the George Street Townhomes project on September 1. Mr. McFarland and Ms. Pates stated that on September 8 they had also met with the City Manager and City Attorney regarding the same project.

**DISCLOSURE OF CONFLICTS OF INTEREST**

Mr. Harris asked if any Board member had a conflict of interest for any item before the Board. No one indicated they had a conflict of interest.

**CLOSED SESSION**

Mr. Scully made a motion for a closed meeting to discuss legal matters related to *City Council of the City of Fredericksburg v. Architectural Review Board*, as allowed under the Virginia Freedom of Information Act, Code of Virginia § 2.2-3711(A)(7). The motion was seconded and carried 6-0. Ms. Schwartz exited the meeting at this time.

Upon conclusion of the closed meeting, Mr. McFarland made a motion to adopt a resolution certifying that the closed session had been properly conducted. Dr. Barile seconded. Motion carried 6-0.

**ADJOURN**

Upon a motion made by Mr. McFarland and duly seconded, the meeting adjourned at 6:56 p.m.

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John Harris, ARB Chair



**MOTION:** McFarland

**SECOND:** Barile

**September 12, 2016  
Supplementary Meeting  
ARB Resolution 16-04**

**RE: CERTIFICATION OF CLOSED MEETING**

**ACTION: APPROVED: Ayes: 6 ; Nays: 0**

**WHEREAS**, the Architectural Review Board of the City of Fredericksburg has this day adjourned into a Closed Meeting in accordance with a formal vote of the Board, and in accordance with the provisions of the Virginia Freedom of Information Act; and

**WHEREAS**, the Freedom of Information Act requires the Architectural Review Board to reconvene in open session and to certify that such a Closed Meeting was conducted in conformity with the law;

**NOW, THEREFORE, BE IT RESOLVED** that the Architectural Review Board of the City of Fredericksburg does hereby certify that to the best of each member's knowledge (i) only public business matters lawfully exempted from open meeting requirements under the Freedom of Information Act were discussed in the Closed Meeting to which this certification applies, and (ii) only such public business matters as were identified in the Motion by which the said Closed Meeting was convened were heard, discussed, or considered by the Architectural Review Board.

-Adjourned into Closed Meeting at 6:05 p.m.  
-Adjourned out from Closed Meeting at 6:56 p.m.

**Votes:**

**Ayes:** Harris, Weitzman, Pates, Scully, Barile, McFarland

**Nays:** None

**Absent from Vote:** Van Zandt

**Absent from Meeting:** Van Zandt

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***Staff's Certificate***

*I, Kathryn S. Schwartz the undersigned, certify that I am the Historic Resources Planner for the City of Fredericksburg, Virginia, and that the foregoing is a true copy of ARB Resolution 16-04 duly adopted at the Architectural Review Board meeting held September 12, 2016 at which a quorum was present and voted.*

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***Kathryn S. Schwartz***



**Motion for Closed Meeting Under**  
**The Virginia Freedom Of Information Act**

I move that the Architectural Review Board convene a closed meeting under the Virginia Freedom of Information Act, Code of Virginia Section 2.2-3711(A)(7) in order to discuss:

□ **Legal Matters**

- Consultation with legal counsel pertaining to actual or probable litigation, where such consultation in open session would adversely affect the negotiating or litigating posture of the Architectural Review Board, **OR**
- Briefing by staff members or consultants, pertaining to actual or probable litigation, where such briefing or consultation in open session would adversely affect the negotiating or litigating posture of the Architectural Review Board.

The legal action is as follows: City Council of the City of Fredericksburg v. Architectural Review Board and NBB LLC



# Minutes Architectural Review Board Supplementary Meeting

September 26, 2016

Room 214 & Council Chambers, City Hall  
Fredericksburg, Virginia

## Members Present

John Harris, Chair (arrived 7:00 p.m.)  
Sabina Weitzman, Vice Chair  
Susan Pates  
Jon Van Zandt (arrived 7:00 p.m.)  
Jamie Scully  
Kerri S. Barile  
Kenneth McFarland

## Members Absent

## Staff

Kate Schwartz

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Ms. Weitzman called the Architectural Review Board meeting to order at 6:05 p.m.

## OPENING REMARKS

Ms. Weitzman determined that a quorum was present and asked if public notice requirements had been met. Ms. Schwartz stated that they had.

## APPROVAL OF AGENDA

Dr. Barile made a motion to approve the agenda as submitted. Mr. Scully seconded. The motion carried 5-0.

## CLOSED SESSION

Mr. Scully made a motion for a closed meeting to discuss legal matters related to *City Council of the City of Fredericksburg v. Architectural Review Board*, as allowed under the Virginia Freedom of Information Act, Code of Virginia § 2.2-3711(A)(7). Mr. McFarland seconded. The motion carried 5-0. Ms. Schwartz exited the meeting at this time.

Upon conclusion of the closed meeting, Mr. Scully made a motion to adopt a resolution certifying that the closed session had been properly conducted. Mr. McFarland seconded. The motion carried 5-0.

## CONTINUED CASES

The Board reconvened in open session in Council Chambers at 7:00 pm. Mr. Harris and Mr. Van Zandt arrived at 7:00 p.m.

- a. **COA 2016-12 – 100 Hanover Street** – Tommy Mitchell requests a Certificate of Appropriateness to:
- Demolish the existing structures at 106-108 Hanover Street and 718 Sophia Street
  - Construct a new four-story mixed-use masonry building. The building footprint will be 105 feet along Hanover Street and 155 feet along Sophia Street, with ground level parking.

James McGhee, the project architect, was present.

Mr. McGhee presented a digital 3D model of the project, showing the mass and scale from a variety of perspectives.

Mr. Scully and Ms. Weitzman stated concerns about the massing of the Hanover Street elevation. They said the divisions of the façade did not seem to align with typical patterns in the district and suggested that some vertical elements should continue all the way to ground level. The Board agreed that the façade should not present the false appearance that it is made of multiple adjoining buildings; however, the form of the building should still reflect the general dimensions of these divisions.

Mr. McGhee adjusted one of the bays on the Hanover Street elevation to show that this could be accomplished. Mr. Scully agreed that the alteration was helpful.

Mr. McFarland requested that approval of the demolition of the existing buildings on site be contingent on approval of the full project. The Board agreed.

Mr. Van Zandt said that he felt comfortable approving the scale and massing knowing there is still much work to be done on the details. He said he believed the details would clarify any questions the Board still had moving forward.

Ms. Pates stated that she believed the building was still out of scale with the district and would not support approval.

Mr. Van Zandt made a motion to approve the site planning, scale, and massing as shown in the model presented, and to approve demolition of the existing structures contingent on approval of the full project on consent at the Board's October 17, 2016 meeting.

Dr. Barile seconded the motion and commented that much had been done to minimize the scale of the building through various architectural elements. The motion carried 6-1, with Ms. Pates voting against.

## **NEW BUSINESS**

### **a. Pre-Application Discussion: 209 Hanover Street**

The property owner, Jaime Ibarra, was present to discuss several proposed alterations and repairs to the building. These include replacement of the slate roof with synthetic slates, repairs or alterations to several leaning chimneys, and painting of the rear masonry wall on the alley.

The Board recommended the information that Mr. Ibarra should include with an application to consider these items:

- Structural assessment of the chimneys in need of repair
- Condition assessment of the existing slate roof to determine that replacement is necessary
- Detailed information on the material content of the proposed synthetic slate
- Detailed information on the type of paint used for the masonry wall

Additionally, the Board recommended the use of interior caps to cap the chimneys. Mr. Harris recommended reviewing the Board's discussion on types of paint from their consideration of the mural

at 106 George Street.

**b. Pre-Application Discussion: 319 Prince Edward Street**

The property owners, Hamilton Palmer and Matt Revell, were present.

Mr. Palmer explained that the current temporary roof covering needs to be replaced before winter. They are proposing to install a new metal or EPDM roof on the existing structure. Additionally, Mr. Palmer presented a concept for the scale and massing of a new rear addition.

Mr. Scully said that the design concept was right on track and he supported the new addition. The Board offered some additional comments and suggestions to improve the design.

Mr. McFarland commented that a standing seam metal roof would be appropriate for the time period. The Board also discussed other metal roofing products that might be appropriate for the property. Mr. Palmer thanked the Board for their comments.

**ADJOURNMENT**

Mr. Scully made a motion to adjourn the meeting. Mr. McFarland seconded. The meeting adjourned at 8:30 p.m.

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John Harris, ARB Chair



**MOTION:** Scully

**SECOND:** McFarland

**September 26, 2016  
Supplementary Meeting  
ARB Resolution 16-05**

**RE: CERTIFICATION OF CLOSED MEETING**

**ACTION: APPROVED: Ayes: 5 ; Nays: 0**

**WHEREAS**, the Architectural Review Board of the City of Fredericksburg has this day adjourned into a Closed Meeting in accordance with a formal vote of the Board, and in accordance with the provisions of the Virginia Freedom of Information Act; and

**WHEREAS**, the Freedom of Information Act requires the Architectural Review Board to reconvene in open session and to certify that such a Closed Meeting was conducted in conformity with the law;

**NOW, THEREFORE, BE IT RESOLVED** that the Architectural Review Board of the City of Fredericksburg does hereby certify that to the best of each member's knowledge (i) only public business matters lawfully exempted from open meeting requirements under the Freedom of Information Act were discussed in the Closed Meeting to which this certification applies, and (ii) only such public business matters as were identified in the Motion by which the said Closed Meeting was convened were heard, discussed, or considered by the Architectural Review Board.

-Adjourned into Closed Meeting at 6:05 p.m.  
-Adjourned out from Closed Meeting at 6:36 p.m.

**Votes:**

**Ayes:** Weitzman, Pates, Scully, Barile, McFarland

**Nays:** None

**Absent from Vote:** Harris, Van Zandt

**Absent from Meeting:** Harris, Van Zandt

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***Staff's Certificate***

*I, Kathryn S. Schwartz the undersigned, certify that I am the Historic Resources Planner for the City of Fredericksburg, Virginia, and that the foregoing is a true copy of ARB Resolution 16-05 duly adopted at the Architectural Review Board meeting held September 26, 2016 at which a quorum was present and voted.*

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***Kathryn S. Schwartz***



**Motion for Closed Meeting Under  
The Virginia Freedom Of Information Act**

I move that the Architectural Review Board convene a closed meeting under the Virginia Freedom of Information Act, Code of Virginia Section 2.2-3711(A)(7) in order to discuss:

□ **Legal Matters**

- Consultation with legal counsel pertaining to actual or probable litigation, where such consultation in open session would adversely affect the negotiating or litigating posture of the Architectural Review Board, **OR**
- Briefing by staff members or consultants, pertaining to actual or probable litigation, where such briefing or consultation in open session would adversely affect the negotiating or litigating posture of the Architectural Review Board.

The legal action is as follows: City Council of the City of Fredericksburg v. Architectural Review Board and NBB LLC



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for demolition and new construction at 100 Hanover Street  
 1<sup>st</sup> review for demolition and site planning, scale, and massing

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### ISSUE

Tommy Mitchell requests a Certificate of Appropriateness to:

- Demolish the existing structures at 106-108 Hanover Street and 718 Sophia Street
- Construct a new four-story mixed-use masonry building. The building footprint will be 105 feet along Hanover Street and 155 feet along Sophia Street, with ground level parking.

### RECOMMENDATION

Approval of the Certificate of Appropriateness to demolish the existing structures at 106-108 Hanover Street and 718 Sophia Street contingent upon full approval of the new construction; and for the site planning, scale, and massing of a new four-story mixed-use masonry building as shown on drawings dated September 26, 2016.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*City Code § 72-23.1 D(3): Demolition, Removal or Relocation*

1. No historic landmark, building or structure within the HFD shall be razed, demolished, or moved until the razing, demolition or moving thereof is approved by the ARB. In determining the appropriateness of any application for the razing, demolition, or moving of a building or structure, the ARB shall consider the following criteria:
  - (1) The architectural significance of the building or structure.
  - (2) The historical significance of the building or structure.
  - (3) Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.
  - (4) The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.
  - (5) The condition and structural integrity of the building or structure, as indicated by documentation prepared by a qualified professional or licensed contractor, or other information, provided to the board for examination. The City Manager may obtain an assessment from a qualified professional or licensed contractor to assist the ARB or City Council in rendering a decision.
  - (6) Effect on surrounding properties.

- (7) Inordinate hardship. This inquiry is concerned primarily with the relationship between the cost of repairing a building or structure and its reasonable value after repair. An inordinate hardship is an instance when preservation will deprive the owner of reasonable economic use of the property.

*City Code § 72-23.1 D(1): New construction*

No building or structure shall be erected or reconstructed within the HFD, unless approved by the ARB as being architecturally compatible with the historic landmarks, buildings, structures and areas located therein. The ARB shall, in making its decisions, consider the characteristics of a proposed building or structure as they affect and relate to the district, including the following elements:

- (a) Site planning (continuity of street edge, spacing between buildings, fences and walls, parking);
- (b) Building scale (size, height, facade proportions);
- (c) Building massing (form, roof shape, orientation);
- (d) Roof (shape, pitch, overhang, dormers, skylights, chimneys);
- (e) Windows (type, shape and proportion, rhythm and balance, blinds/shutters);
- (f) Doorways (placement and orientation, type);
- (g) Storefronts (materials, architectural details);
- (h) Exterior architectural elements (entrances, porches and steps, cornices);
- (i) Materials (wall surfaces, foundation, roof); and
- (j) Miscellaneous details (trim, gutters and leaders, louvers/vents, lighting, public utilities).

*Historic District Handbook*

*Site Planning* (pg. 69)

1. New buildings should be sited to reinforce the traditional street edge.
2. Corner buildings in the downtown commercial district should avoid deep setbacks or open corners that disrupt street edge continuity.

*Building Scale* (pg. 74)

1. Although the zoning ordinance defines height limitations within the various parts of the city, building height at the street front should be compatible with the prevailing height of the entire block.
2. New buildings that must be taller than the prevailing height should be stepped back so the additional height is not visible from the street.
3. The primary façade of a new commercial building should be modulated with bays to reflect the prevailing width of the adjoining historic buildings.
4. Architectural features—such as porches, entrances, storefronts, and other decorative elements—should be used to reinforce the human scale of the Historic District.

*Building Massing* (pg. 75)

1. Building form should relate to the existing streetscape. If most of the building forms are simple, then the form of a new building should respect that characteristic.
4. New commercial and professional buildings should respect the orientation of similar buildings in the Historic District.

**BACKGROUND**

A public hearing was held for this application on September 12, 2016. At that time, the Board continued the application to a supplementary meeting on September 26, 2016 to continue working through details of the building's massing and site planning. At the September 26 work session, the Board agreed that any additional questions of compatibility with the character of the district could be addressed through the architectural details. The Board agreed to place approval of the site planning, scale, and massing of the project, as well as approval of the demo, contingent upon final approval of the new construction, on the consent agenda at the October 17, 2016 meeting of the Board. A second public hearing will be scheduled to consider architectural details and the final proposed project in its entirety at a future meeting.

**Information from previous report:**

The site known as 100 Hanover Street is located at the southwest corner of the intersection of Hanover and Sophia Streets. Three historic structures currently exist on the site. Two of the structures are attached, 106 and 108 Hanover Street, and one additional structure is located at 718 Sophia Street. In 2013, the project was considered by the ARB and approved with a different architectural design. Concurrently, City Council approved a Special Use Permit and Special Exceptions to exceed the 50 foot height limit by six feet, increase the residential density, and modify the required commercial component due to the property's location in the floodplain. These approvals remain valid; however, the Certificate of Appropriateness has expired.

A request to renew the Certificate of Appropriateness was considered by the ARB during the March 4, 2016 hearing. Due to concerns about the overall scale, massing, and architectural compatibility with the historic character of the District, the architectural design of the project has been modified during the course of review and discussion over the last several months. As defined in §6.C of the Board's Rules of Procedure, the ARB may engage in a two-step review of complex or large-scale projects, holding one public hearing to evaluate the site planning, scale, and massing, and a second hearing to consider the final proposed project in its entirety. Currently under consideration is this first review of site planning, scale, and massing.

**Demolition of 106-108 Hanover Street and 718 Sophia Street**

The Board should first evaluate demolition of the existing structures as a component of the site planning. The commercial structures at 106 and 108 Hanover Street are attached, one-story, flat-roofed buildings of concrete block construction. The structure to the west, at 108 Hanover, features a brick façade, while 106 features a concrete block façade. Both buildings have stepped parapets over large display windows, exhibiting elements of the Art Deco style. Building permit records show that 108 Hanover was constructed c.1952 as a plumbing shop, and 106 Hanover was constructed c.1953 as a dry cleaning shop. Previous reports have listed a construction date of c.1930 for these structures; however, Sanborn Fire Insurance Maps show that the site was previously occupied by a row of three simple two-story tenement dwellings.

The building at 718 Sophia Street is a wood-framed warehouse-type structure clad in corrugated metal with a front-gabled metal roof. The structure is two stories in height, with a double vertical board wood entry door placed off-center on the east-facing front elevation. Fixed windows are located on the first floor, with double-hung six-over-six windows on the second floor. Constructed as a tin and plumbing

workshop, the building first appears on the c.1927 Sanborn Fire Insurance Map. The City's 2006 architectural survey notes that all three buildings have limited architectural and historical significance, but do reflect the patterns of development of the interwar and post-war periods in the historically semi-industrial and commercial waterfront neighborhood along Sophia Street. All three are recommended as contributing structures to the character of the District.

<b>The architectural significance of the buildings.</b>	Not individually significant; commercial properties exhibit distilled elements of postwar Deco architecture. Warehouse is reflective of early 20 <sup>th</sup> -century industrial structures.
<b>The historical significance of the buildings.</b>	Limited; reflective of patterns of development in the interwar and postwar periods.
<b>Whether a building or structure is linked, historically or architecturally, to other buildings or structures, so that their concentration or continuity possesses greater significance than the particular building or structure individually.</b>	These vernacular structures are simple and utilitarian, reflecting architectural trends of the interwar and postwar periods as well as patterns of development in the semi-industrial/commercial waterfront neighborhood along Sophia Street.
<b>The significance of the building or structure or its proposed replacement in furthering the Comprehensive Plan's goals.</b>	The site as a whole possesses limited historic integrity and is not an intact block. The potential for interpretation is low. In addition, the Comprehensive Plan calls for development of an open riverfront park on the east side of Sophia Street and increased density and redevelopment on the west side of Sophia Street. The existing structures have limited potential for adaptive reuse.
<b>The condition and structural integrity of the building or structure.</b>	106 and 108 Hanover appear to be in reasonably good condition. 718 Sophia Street appears to be in fair condition. A structural assessment has not been conducted.
<b>Effect on surrounding properties.</b>	Removal of these structures is intended to accommodate new construction that furthers the goals of the Comprehensive Plan and allows for increased use and revitalization of the Sophia Street corridor.
<b>Inordinate hardship.</b>	Unknown.

Due to the limited architectural and historical significance of the structures at 106 and 108 Hanover Street and 718 Sophia Street, and the alignment of the proposed replacement with the goals of the City's adopted Comprehensive Plan, it is recommended that the Board approve the demolition contingent upon approval of the proposed new structure. The context represented by these structures is clearly demonstrated by other properties within the District, and their removal will not have an adverse impact on the historic significance of the District as a whole. However, documentation of the structures before their removal is recommended.

### New Construction at 100 Hanover Street

The applicant proposes to construct a new four-story mixed-use masonry building at the southwest corner of the intersection of Sophia and Hanover Streets. The ground floor will include all required parking as well commercial space along Hanover Street. The three upper floors will include 17 condominiums. This first review includes consideration of the site planning, scale, and massing of the proposed infill.

- **Site Planning**

The building footprint will be 105 feet along Hanover Street and 155 feet along Sophia Street, with a 20-foot wide alley at the rear west side of the property. The building will be sited at the sidewalk on Hanover and Sophia Streets, with no setback, as is typical for historic structures throughout the Historic District. The *Historic District Handbook* specifies that new buildings should be sited to reinforce the traditional street edge; and that corner buildings in the downtown commercial district should avoid deep setbacks or open corners that disrupt street edge continuity. Parking should also be situated to allow for reinforcement of the existing street edge. The proposed construction meets this standard and accommodates floodplain restrictions by locating the parking within the building's footprint.

Additionally, the Special Use Permit granted by City Council carries with it the condition that the landowner conduct a Phase I archaeological survey of the site of the proposed development, and if indicated, a Phase II survey, prior to obtaining a building permit for the structure.

- **Building Scale and Massing**

The proposed structure is four stories in height, with the flat roof 44 feet four inches above grade. A parapet wall and railing extends above the flat roof at the perimeter of the building, and four belvederes—two at the rear corners of the structure above the west elevation and two inset from the edges of the roof—project an additional nine feet above the roof surface. Visibility of the inset belvederes will be limited from street level. The approximate heights of other large-scale buildings near the project site are shown in the table below:

<b>Building</b>	<b>Height as defined in City Code § 72-82.6</b>	<b>Highest Point</b>
One Hanover	44 feet	53 feet
Shiloh Baptist Church—Old Site	44 feet	50 feet
Sophia Street Parking Garage	45 feet	55 feet
725 Caroline Street (SE corner Caroline & Hanover Streets)	36 feet	42 feet
801 Caroline Street (NE corner Caroline & Hanover Streets)	34 feet	42 feet
800-804 Caroline Street (NW corner Caroline & Hanover Streets)	50 feet	53 feet
722-728 Caroline Street (NE corner Caroline & Hanover Streets)	46 feet	50 feet

The height of the structure along Sophia Street appears to vary less than ten percent from the height of the Shiloh Baptist Church located diagonally across the intersection, as is specified in

the *Historic District Handbook*. In addition, the roofline displays significant variation through the use of setbacks, parapet walls, inset balconies, and the belvedere elements. These serve to prevent the building from appearing as a monolithic mass, in spite of the building's large footprint. The modulation of the building's height, with the shortest portion of the building fronting on Sophia Street and the tallest at the rear, serves to accentuate the natural topography of the District sloping down to the east at the river.

The Secretary of the Interior's Standards primarily provide guidance for the rehabilitation of historic buildings, but Standard 9 also specifies that new construction shall be differentiated from the historic buildings, but compatible with the massing, size, scale, and architectural features of the historic properties and environment. As physical records of time, place, and use, new structures should not create a false sense of history in the District. In accordance with this standard, this building is contemporary in style, but displays a number of features that meet the standards of compatibility. The Hanover Street, Sophia Street, and south side elevations are divided into multiple modulated bays ranging roughly from 10 to 30 feet in width. Average commercial storefronts and building widths in the Historic District are in a similar range, with adjacent properties on Hanover Street ranging from 16 to 44 feet in width. Each bay displays a primarily vertical character, and the use of inset and stepped balconies, as well as variations in the wall plane, help to mitigate the impact of the building's overall scale. These modulations in the surface help to create a high level of visual interest and reinforce the human scale of the District created by the surrounding historic structures.

Materials and details will not be evaluated until the site planning, scale, and massing have been approved by the Board; however, the applicant has provided preliminary information to assist in visualization of the proposed building. The body of the building will be brick, with textured brick used for details and potentially the ground floor. Areas that are stepped back from the primary wall plane will be clad in an alternate material, potentially wood. Railings will be metal, with some consisting of cables and others a picket style. The condo levels will have operable windows.

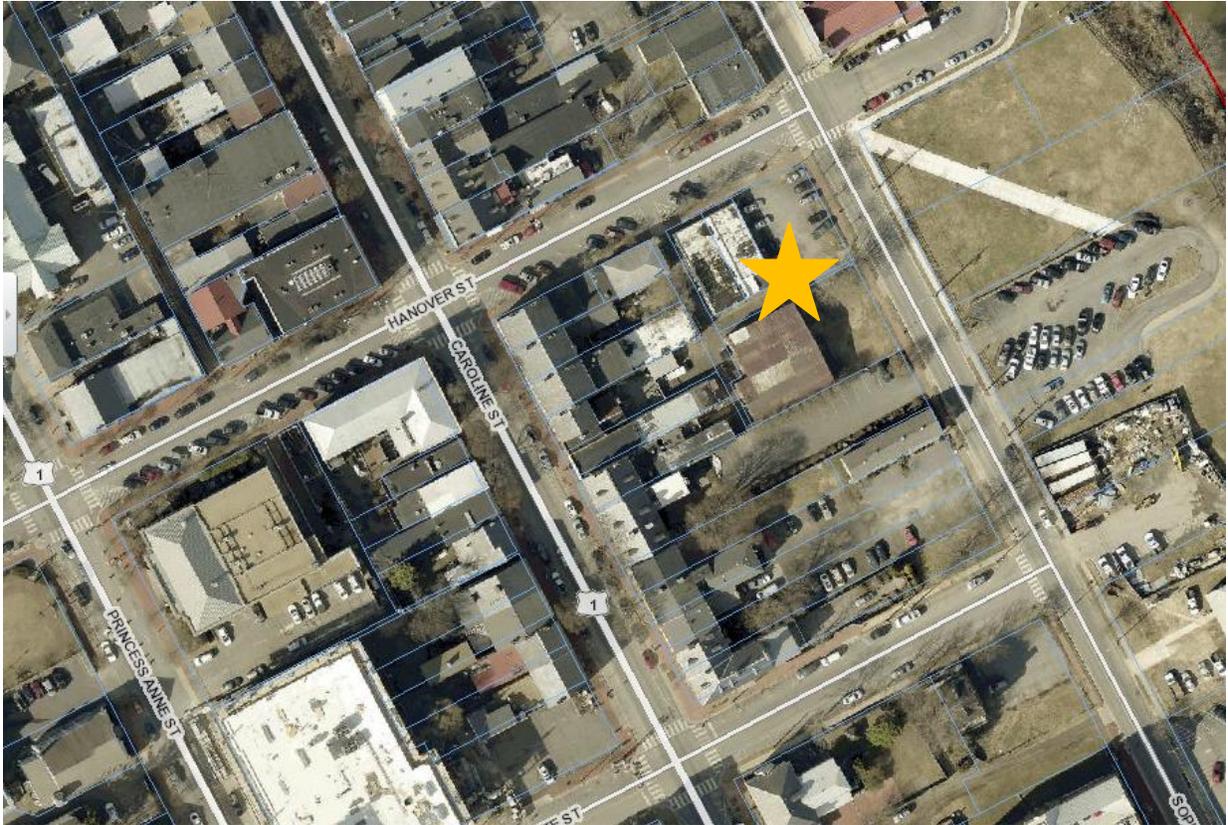
**The site planning, scale, and massing meet the standards and guidelines for the Historic District and approval is recommended.** Architectural details, including windows, doors, storefronts, cornices, wall surfaces, materials, and other elements will be considered at a second public hearing. Compatibility with the character of the District can be increased through these additional elements, and items that the Board and applicant may wish to address include:

- Elimination of the "sawtooth" feature at the center of the Sophia Street elevation and alteration of the stepped walls at the fourth story corners. Simplifying these profiles is more in keeping with the character of buildings throughout the district. Consider incorporating a profile that relates to the gabled roofs of neighboring structures.
- Clear delineation of the ground floor and storefronts through materials, coloration, and/or the addition of a cornice or other physical element
- Variations in the color and materiality of bays to provide clear differentiation and mitigate the impact of the building's scale
- Addition of a cornice or differentiation of the parapet wall to reflect the traditional divisions of height of historic commercial buildings in the District

- Details of window, door, railing, grating, etc. types, materials, and trims
- Ensure the ratio of wall surfaces and openings on elevations is balanced

Attachments:

1. Aerial and street view photographs showing property location
2. Front elevation photographs, 106-108 Hanover Street and 718 Sophia Street
3. Sanborn Fire Insurance Maps, c.1886 and c.1902
4. Sanborn Fire Insurance Maps, c.1927 and c.1947
5. Site planning diagram, showing typical setbacks
6. Massing study, showing typical divisions of bays/storefronts
7. Floor plans
8. Elevations
9. Perspective renderings



AERIAL



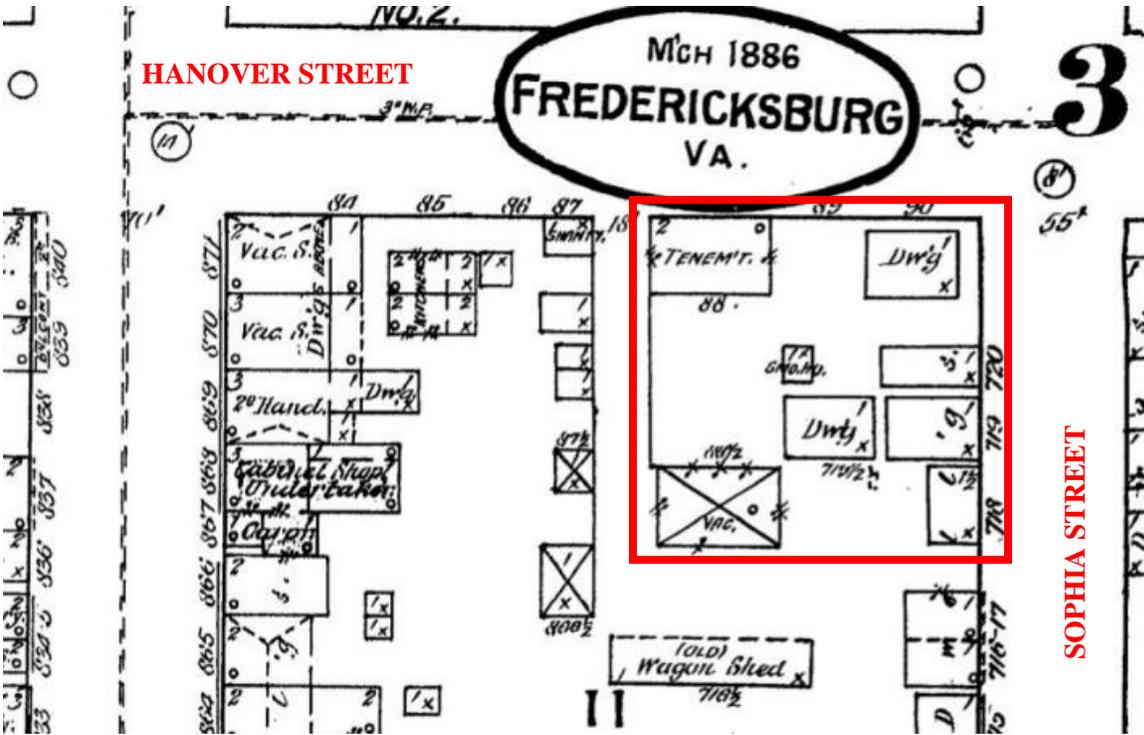
EXISTING SITE



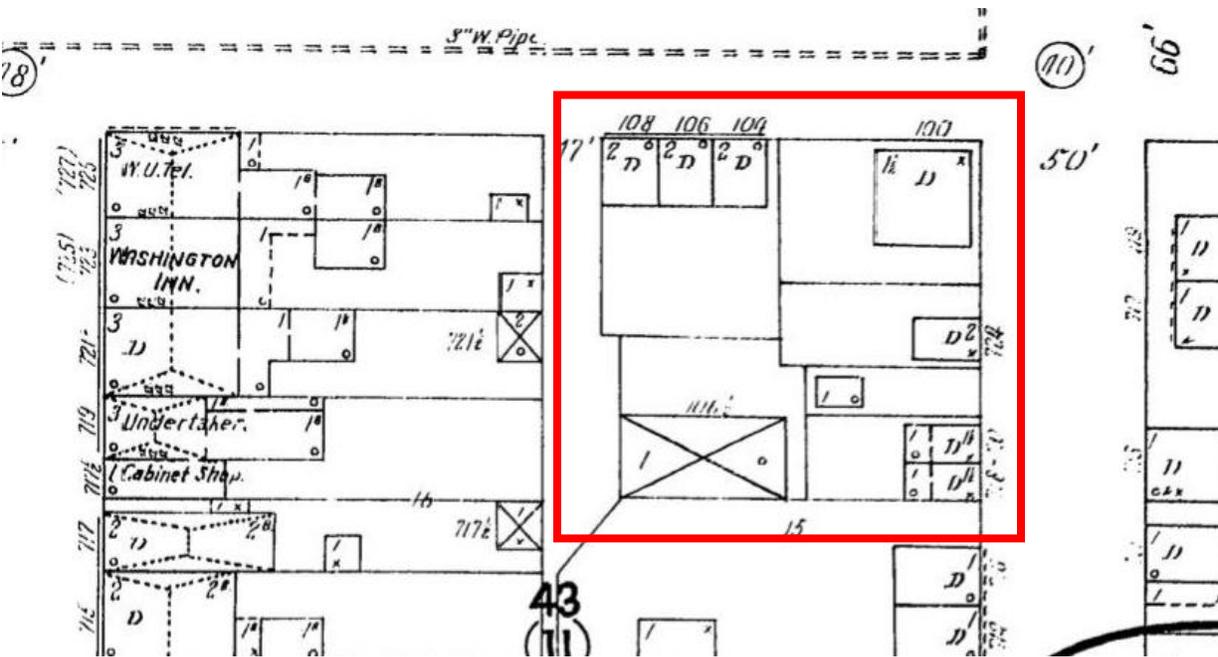
106-108 Hanover Street



718 Sophia Street

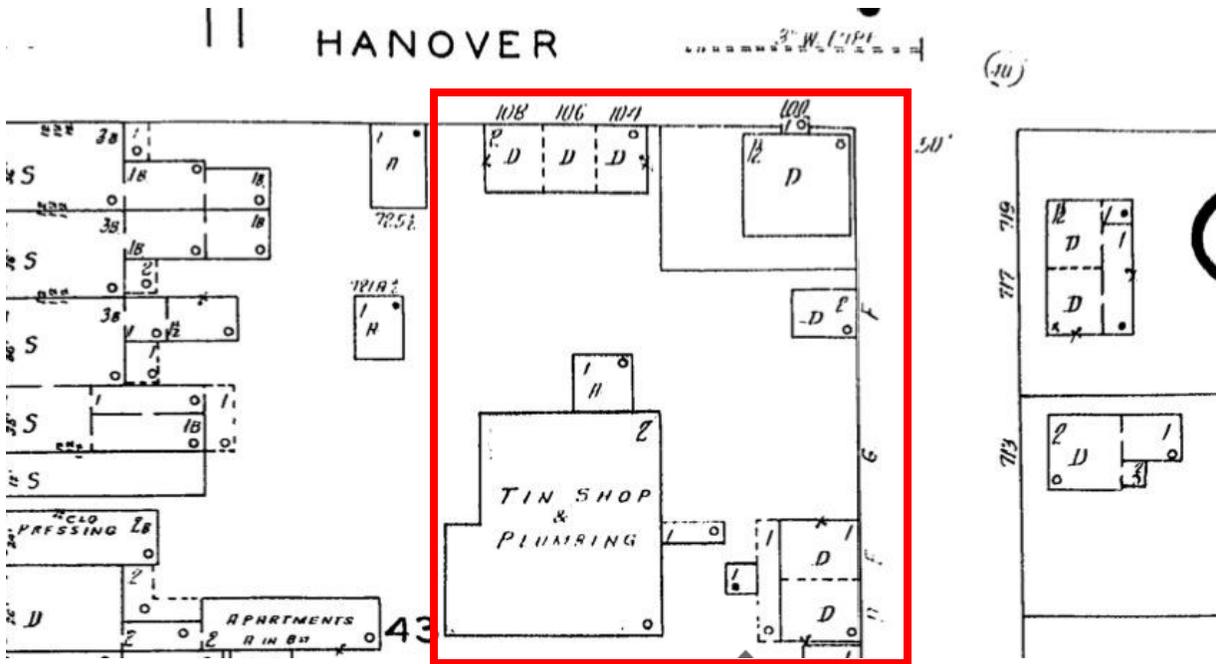


Sanborn Fire Insurance Map, c.1886



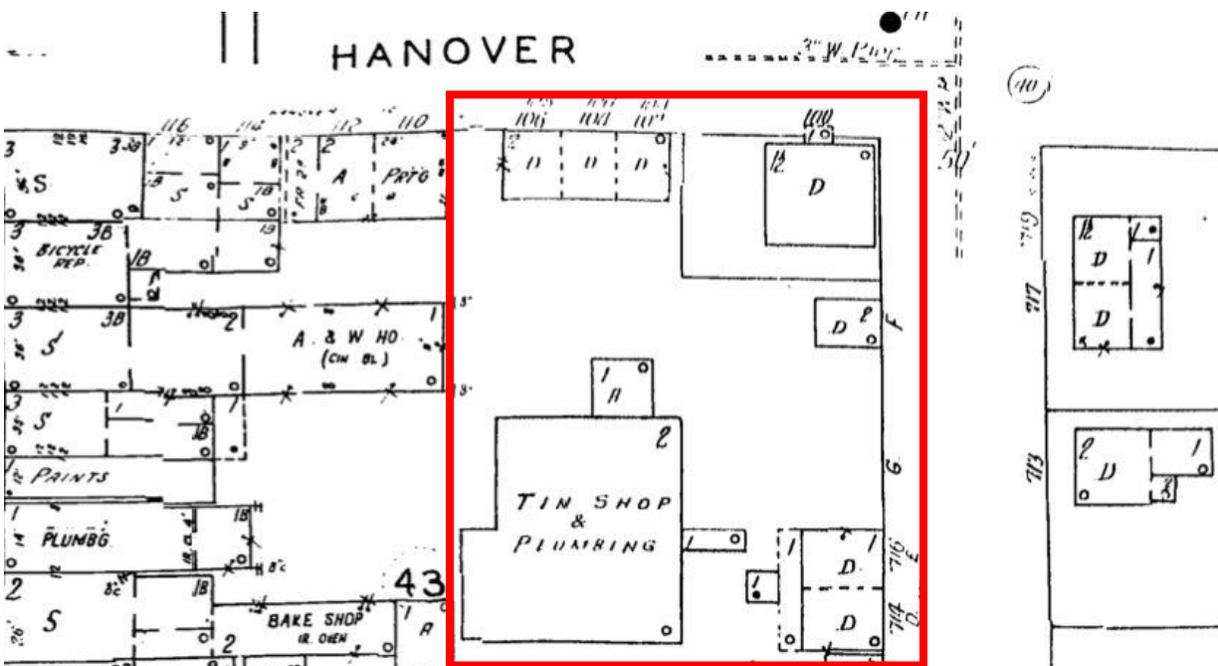
Sanborn Fire Insurance Map, c.1902

Note the three two-story dwellings at 104-108 Hanover Street, later demolished for construction of the existing commercial structures.



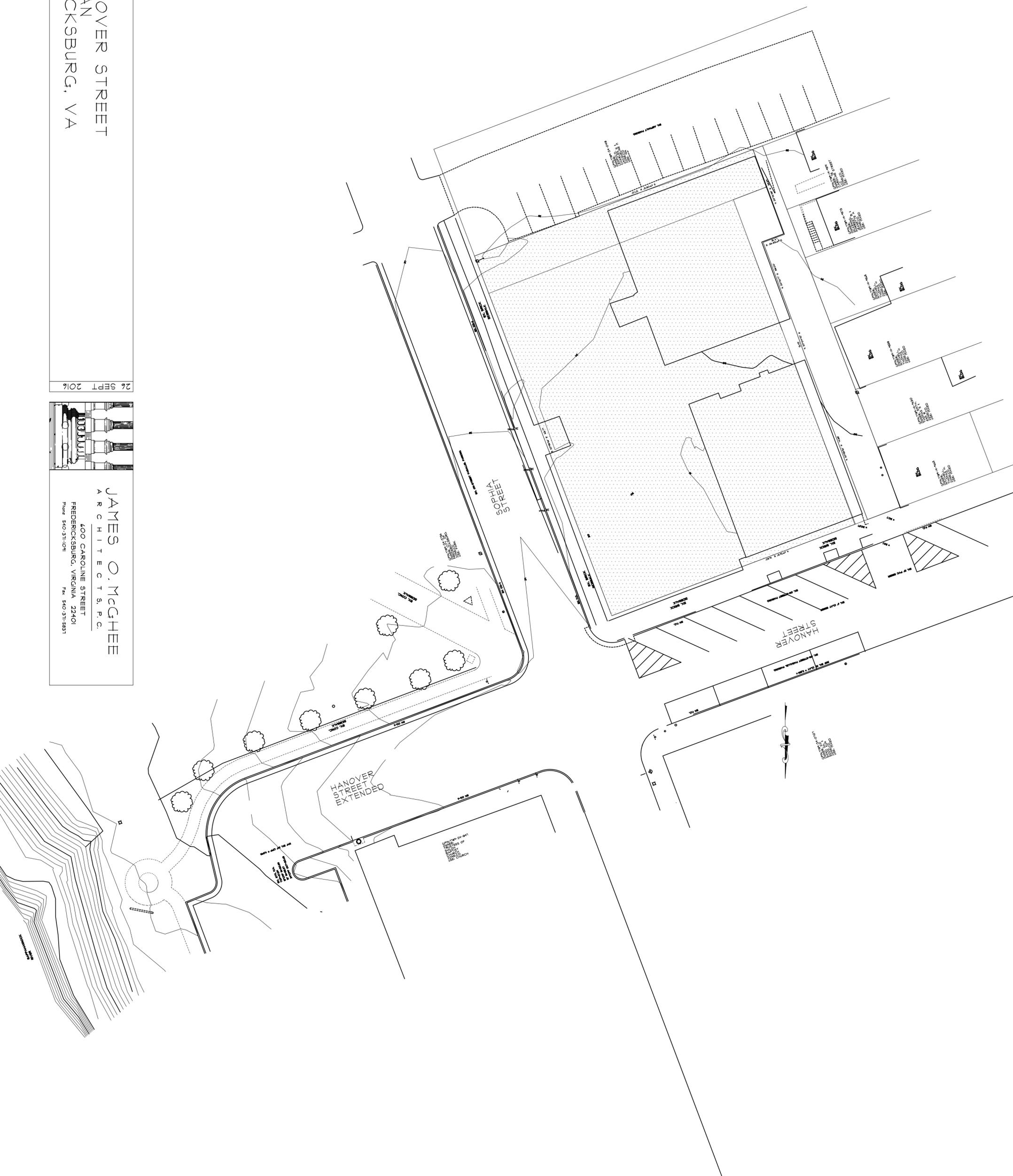
Sanborn Fire Insurance Map, c.1927

Note the addition of the "Tin Shop & Plumbing" warehouse at 718 Sophia Street.



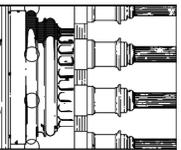
Sanborn Fire Insurance Map, c.1947

SITE PLAN



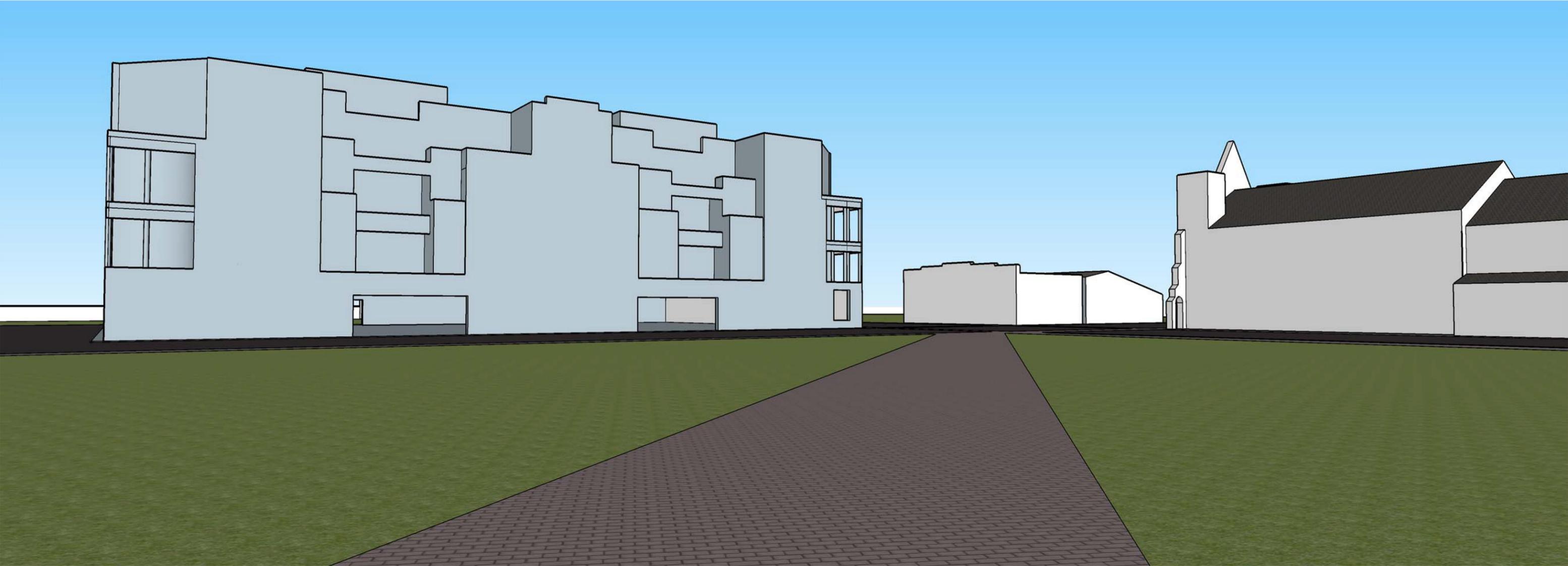
100 HANOVER STREET  
SITE PLAN  
FREDERICKSBURG, VA

26 SEPT 2016



JAMES O. MCGHEE  
ARCHITECTS, P.C.

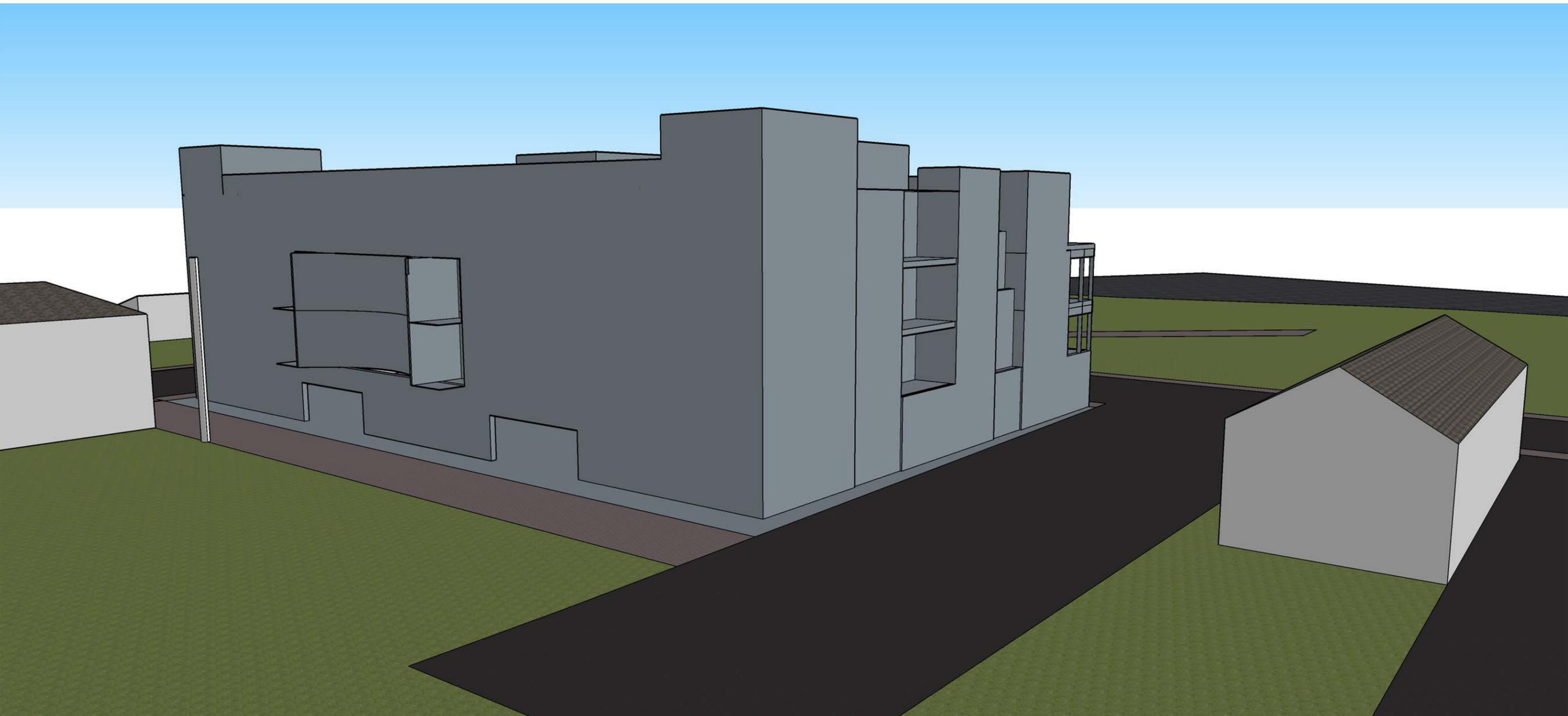
400 CAROLINE STREET  
FREDERICKSBURG, VIRGINIA 22401  
Phone: 540-371-1091 Fax: 540-371-5831



September 26, 2016



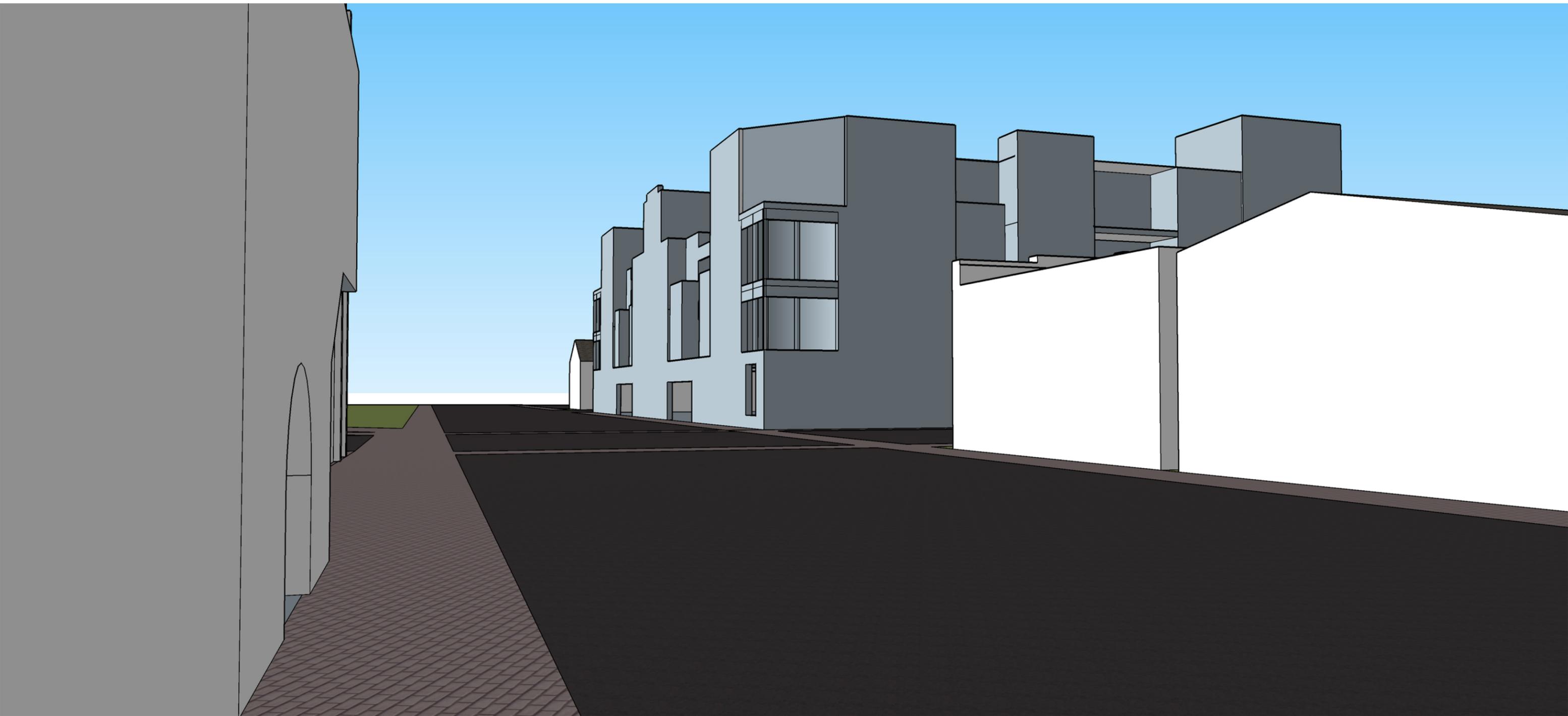
September 26, 2016



September 26, 2016



September 26, 2016



September 26, 2016



September 26, 2016



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 319 Prince Edward Street

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### ISSUE

Matt Revell and Hamilton Palmer request to install a new roof on this single-family residence, and seek approval of the site planning, scale, and massing of a new two-story addition to the rear of the existing structure.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for replacement of the roof.

Approval of the Certificate of Appropriateness for the site planning, scale, and massing of a two-story rear addition with architectural details to be determined at a future public hearing.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Roofs (Historic District Handbook, pg. 80)*

#### Maintenance and Repair

8. Avoid replacing roofs with a substitute material that does not convey the same visual appearance of the historic roof. Replacing a metal shingle roof with standing seam metal, for example, alters a defining architectural characteristic. If replacement of a roof is not technically or economically feasible, the substitute material should convey the same visual appearance of the original roof as much as possible.
9. Avoid reducing the visual integrity of the roof by removing original chimneys, skylights, light wells, or other elements that contribute to the style and character of the building.

*Building Massing – Additions (Historic District Handbook, pg. 76)*

#### Construction Guidelines

1. Before a building is enlarged, the needed functions an addition is meant to address should be evaluated to see if they can be accommodated within the existing structure.
2. An addition, when needed, should not visually overpower the existing structure.
3. Locate additions on the rear or side (secondary) elevations. If an additional floor is to be constructed on top of a building, it should be set back from the main façade to minimize its visual impact.
4. To avoid compromising the integrity of historic buildings, additions should not be made to look older than they are. New construction should be differentiated from the old while still being

compatible with the massing, scale, and architectural features of the original building. Replicas only confuse the importance of the original architecture.

5. Additions should be constructed so as not to impair the essential form and integrity of the original building.

### **BACKGROUND**

This c.1890 residence, located at the corner of Frederick and Prince Edward Streets, is one of a large number of late 19th and early 20th-century modest Folk Victorian dwellings clustered to the north and south of the urban core. This is a two-story, two-bay, shed-roof, wood-frame dwelling displaying elements of the Italianate and Colonial Revival styles. A one-story shed-roofed section extends off the rear of the primary two-story mass. Distinctive features include the dentillated cornice, six-over-six double-hung wood sash windows, weatherboard siding, and a stretcher-bond brick foundation. The residence is a contributing structure in the Historic District.

A series of alterations and additions have modified the form of this structure over the years. The 1891 Sanborn Fire Insurance Map depicts what is likely the original form with a one-story wing extending from the rear east-facing elevation. Later maps show a variety of rear additions to the structure, and additional dwellings are even shown on the same lot in 1907, 1912, 1919, and 1947. A heavily deteriorated rear addition dating to the 1950s or 1960s was demolished in August 2016 after approval by the ARB.

The roof of the primary structure is currently clad in a temporary covering. The previous EPDM roof is failing and needs replacement. The applicants propose to install a new permanent roof. The primary roof is a shed roof that slopes down to the east towards the rear of the structure; the roof surface is not clearly visible from street level. The applicants have proposed to replace the roof with 5V galvanized metal roofing. The original roofing material is unknown; however, Sanborn maps indicate that the original roof was a non-combustible covering of metal, slate, tile, or asbestos shingles. Given the working class nature of the neighborhood, the material was most likely metal or shingle. The proposed replacement is in accordance with Historic District standards and will not have an adverse impact on the historic significance of the structure. Approval of the replacement is recommended.

The applicants are additionally seeking approval of the site planning, scale, and massing of a new rear addition. The proposed addition is located to the rear of the primary structure, connected by a hyphen that is similar in size and placement to the previously removed rear addition. The two-story rear addition generally mirrors the form of the original house, though larger, and is topped by shed roofs. The setback and form of the addition clearly differentiate it from the primary structure, and prevent it from visually overpowering the site. The essential form and integrity of the original house is not altered at all. Approval of the site planning, scale, and massing is recommended, with architectural details to be considered in another public hearing.

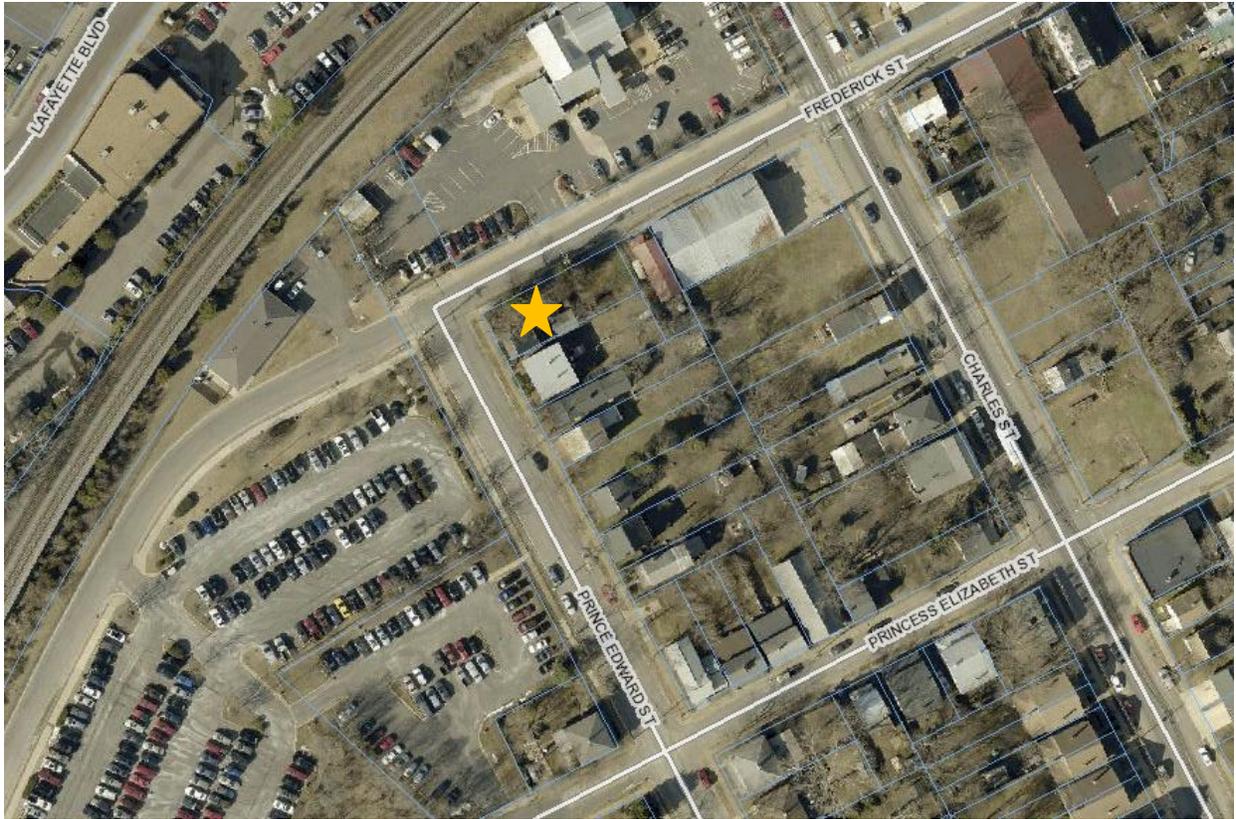
### **APPROVAL CRITERIA**

Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

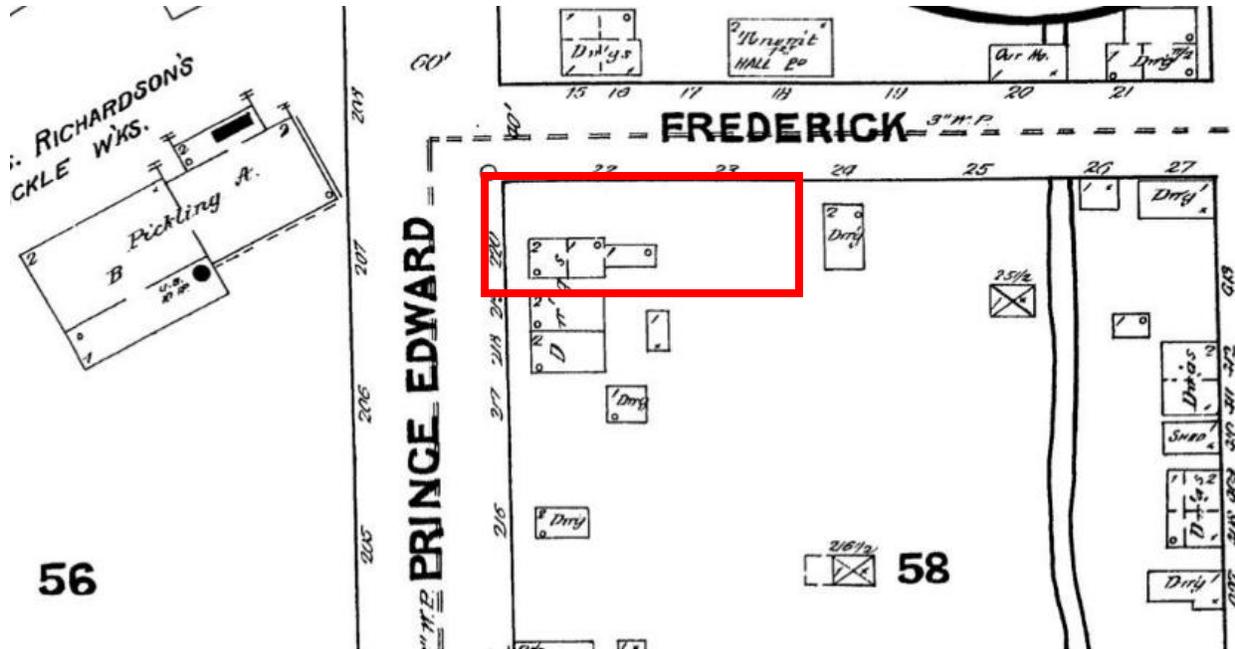
1. Aerial photograph and front elevation view
2. Sanborn Fire Insurance Maps, 1891 and 1896
3. Sanborn Fire Insurance Maps, 1902 and 1907
4. Sanborn Fire Insurance Maps, 1912 and 1919
5. Sanborn Fire Insurance Maps, 1927 and 1947
6. Roof Replacement Specifications
7. Site Plan, New Addition
8. 3D Model, New Addition



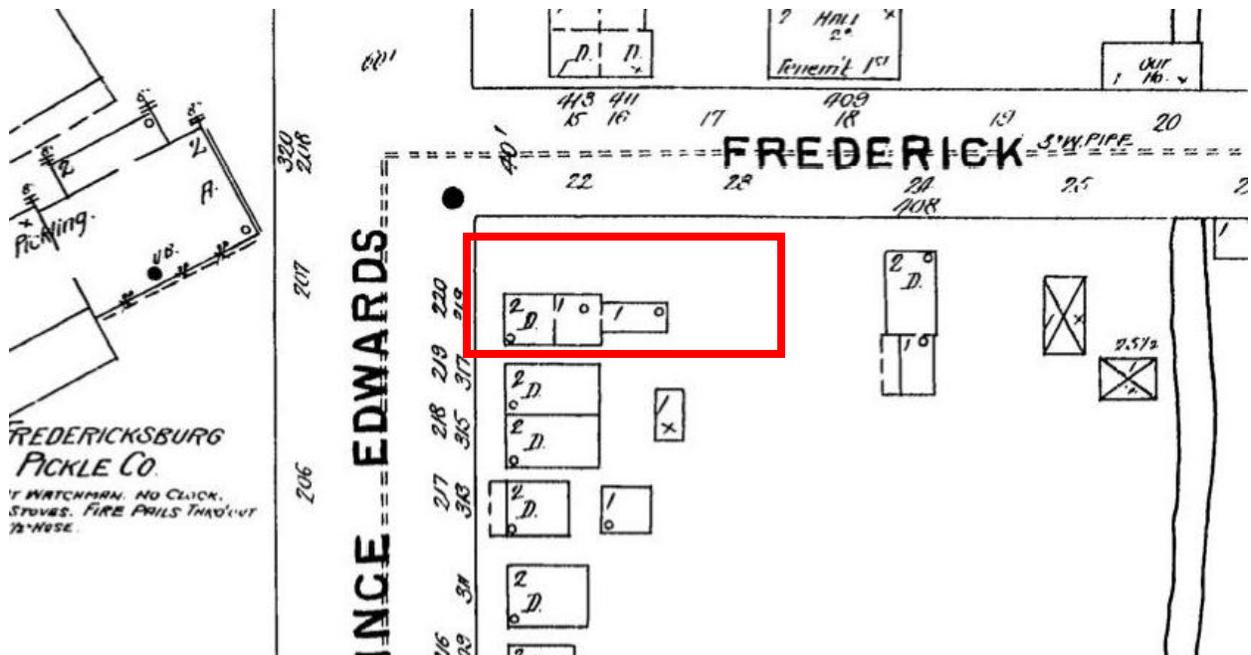
AERIAL



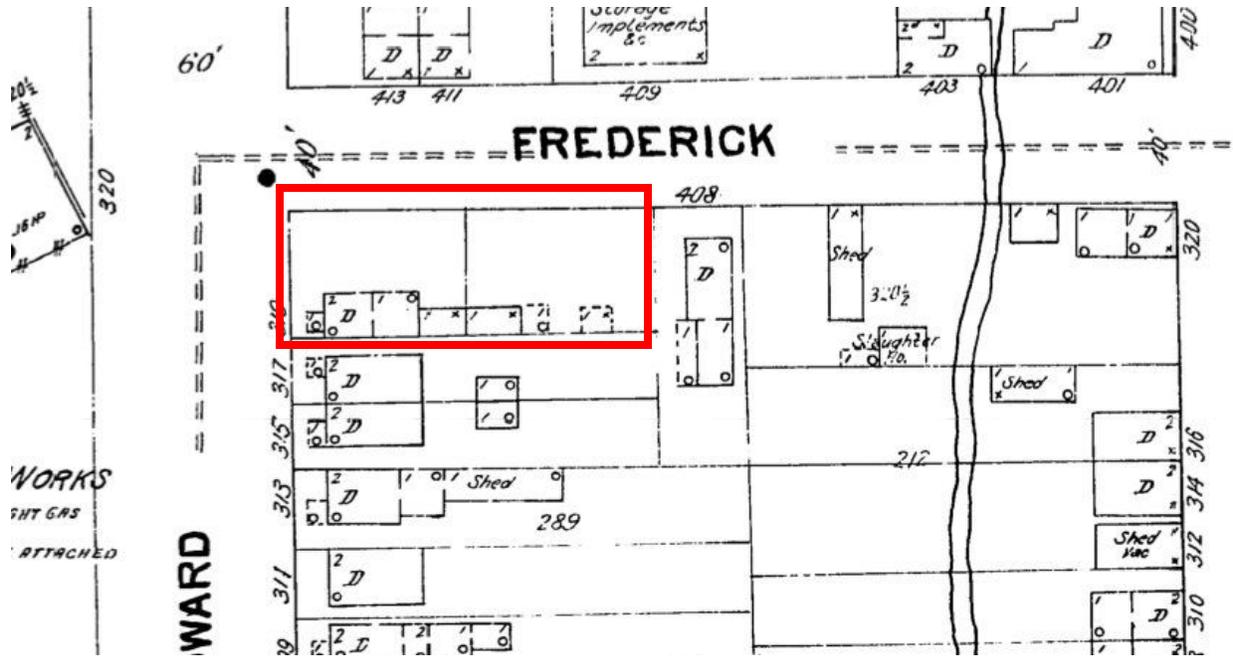
WEST (FRONT) ELEVATION



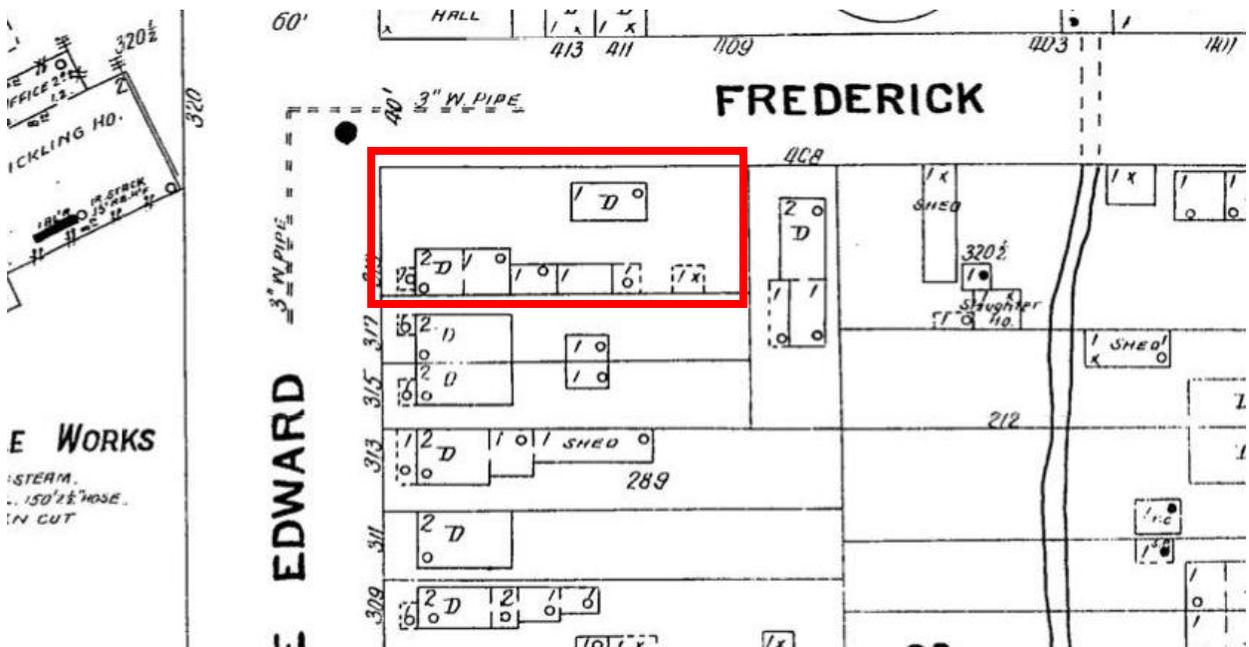
1891 Sanborn Fire Insurance Map



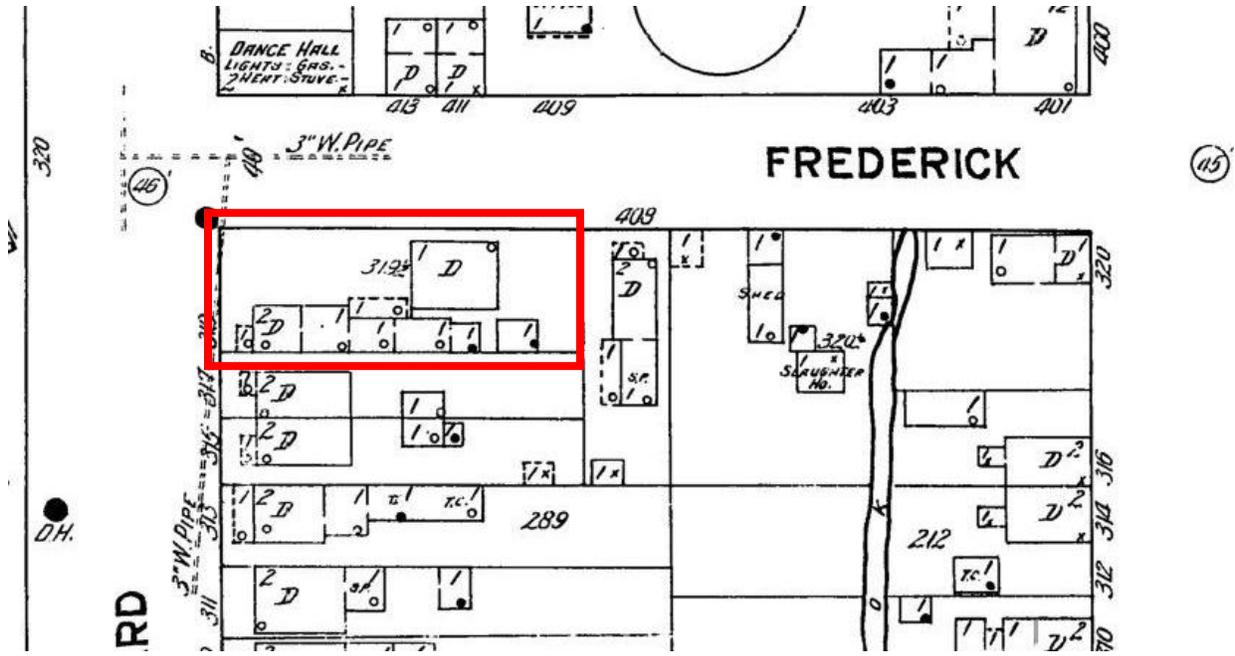
1896 Sanborn Fire Insurance Map



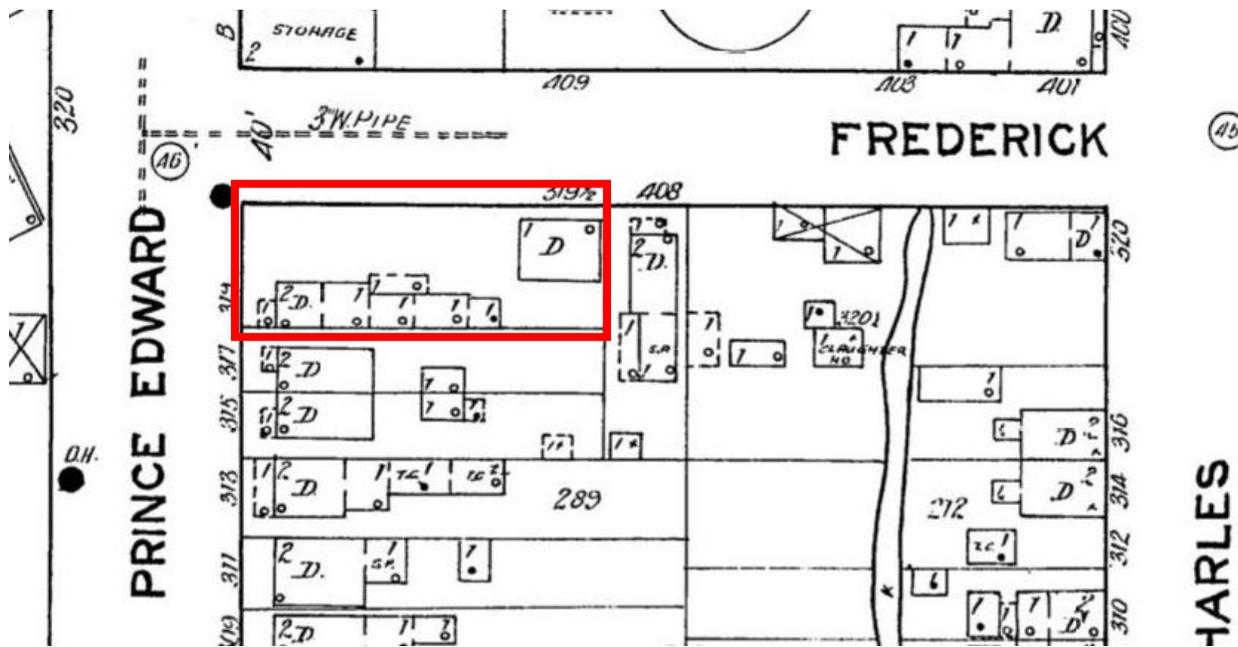
1902 Sanborn Fire Insurance Map



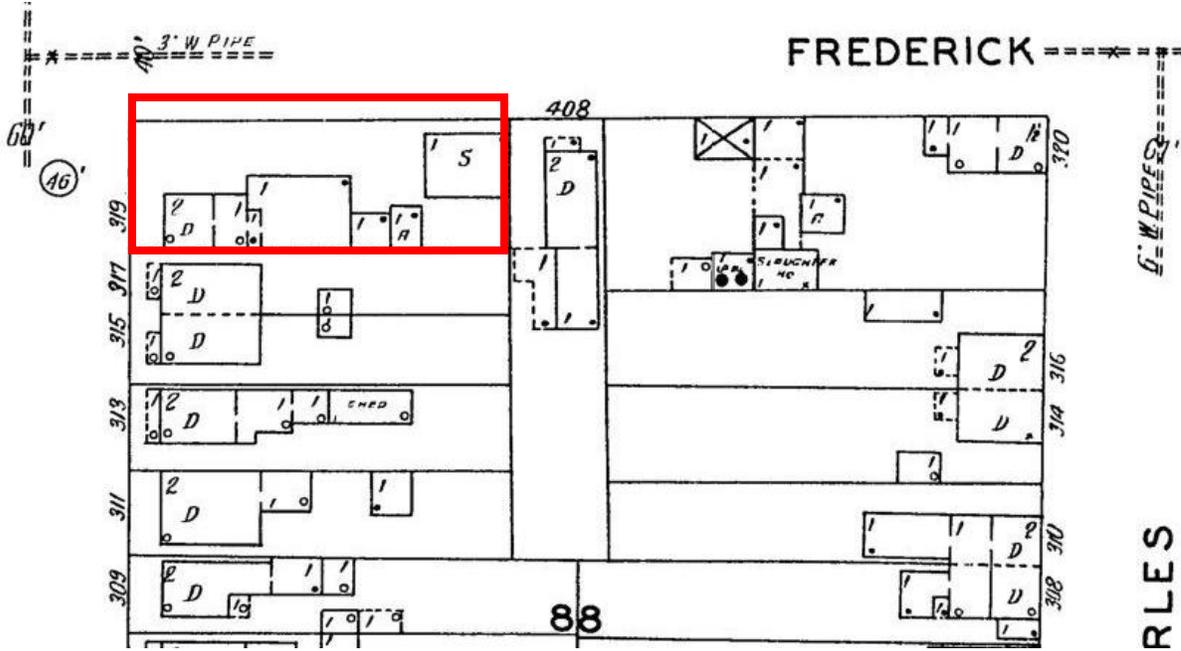
1907 Sanborn Fire Insurance Map



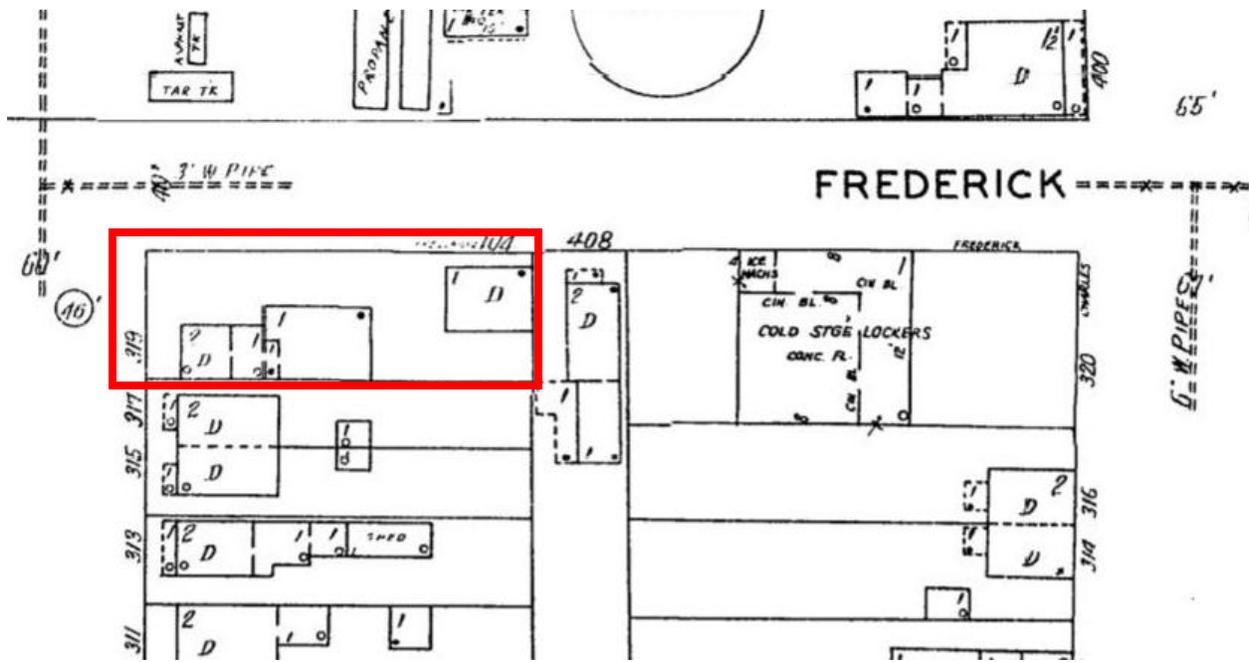
1912 Sanborn Fire Insurance Map



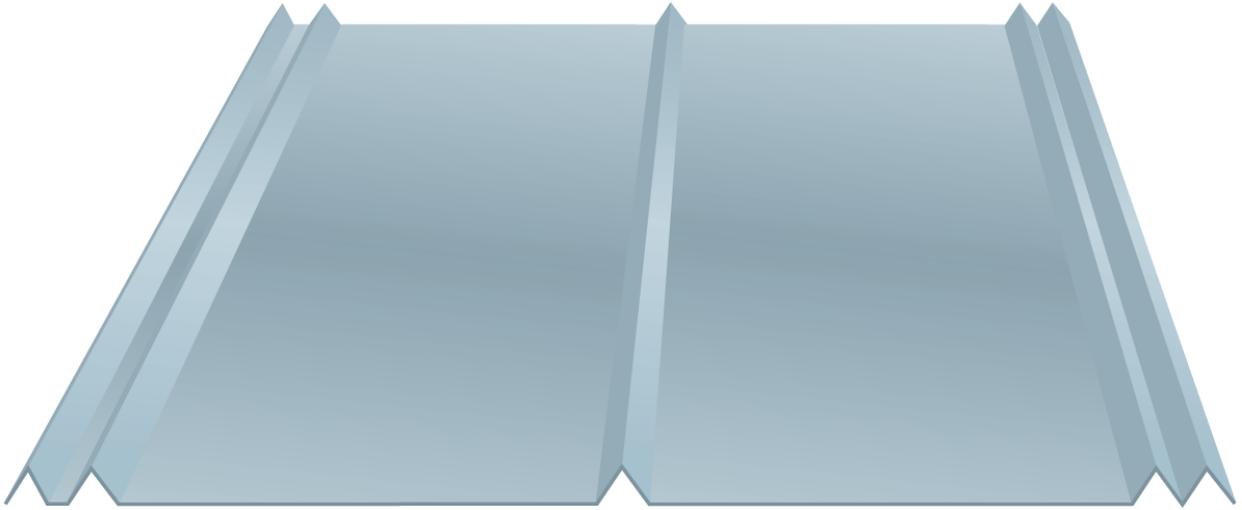
1919 Sanborn Fire Insurance Map



1927 Sanborn Fire Insurance Map



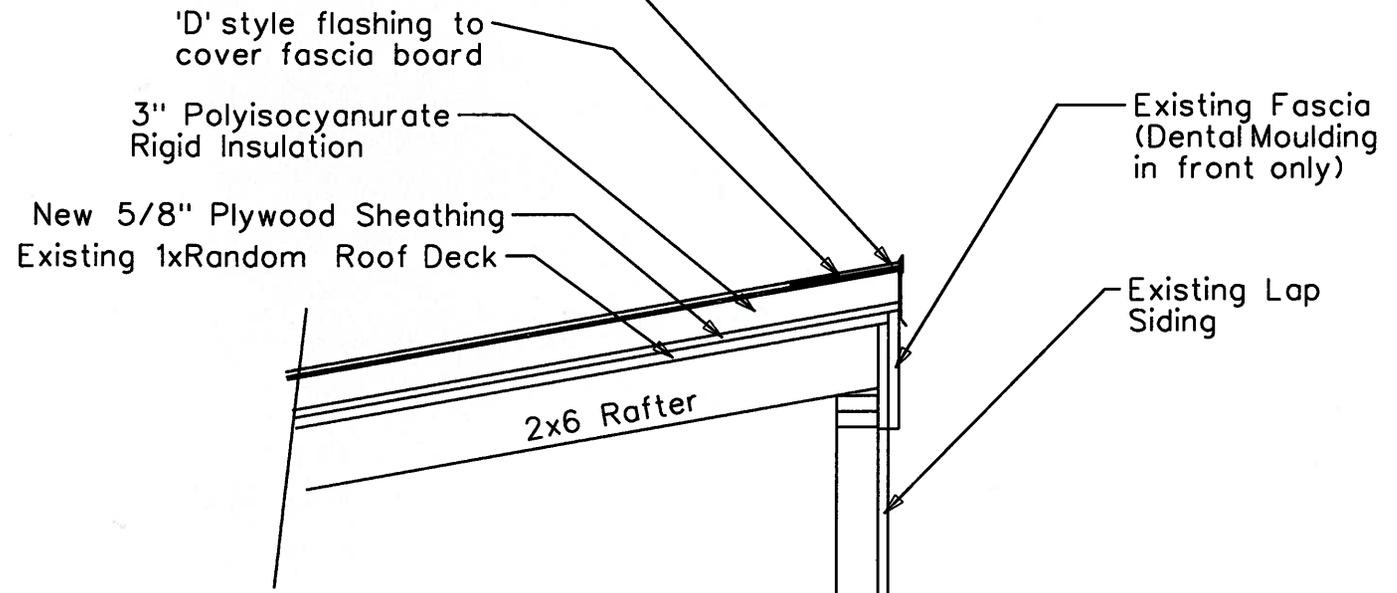
1947 Sanborn Fire Insurance Map



5V Galvanized Metal Roofing

Remove and Replace existing EPDM roof with following options:  
~~Standing Seam, D-Crimp galvanized metal or EPDM:~~

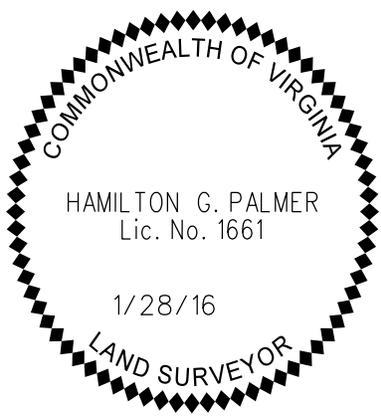
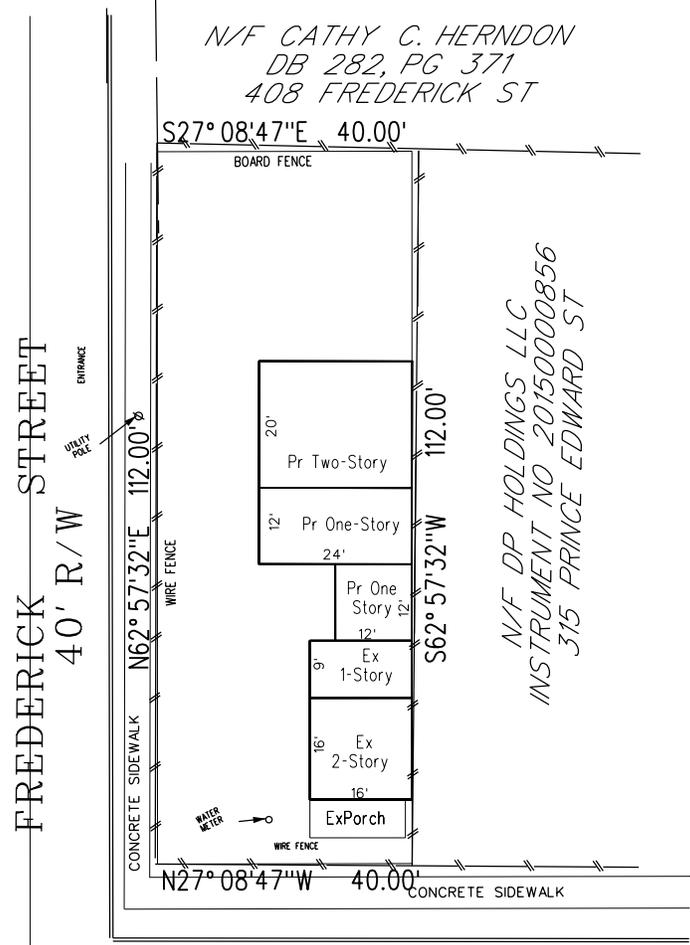
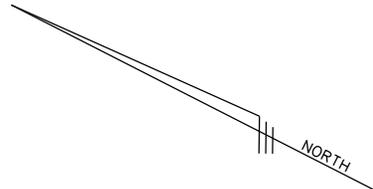
*5V galvanized metal*



Roof Detail  
319 Prince Edward Street  
Fredericksburg, VA

NOTES:

1. EASEMENTS NOT SHOWN MAY EXIST.
2. THIS IS NOT A BOUNDARY SURVEY
3. THE PROPERTY SHOWN HEREON APPEARS TO BE IN ZONE "AE", AREA OF 100 YEAR FLOOD AS SHOWN ON FEMA MAP No. 5100650037C DATED SEPT 19, 2007.
4. MERIDIAN BASED ON VIRGINIA STATE PLANE NAD 83.
5. THIS PLAT DOES NOT WARRANTY TITLE TO THE PROPERTY SHOWN HEREON.
6. THE CITY HAS POSTED THIS PROPERTY AS AN UNSAFE STRUCTURE.



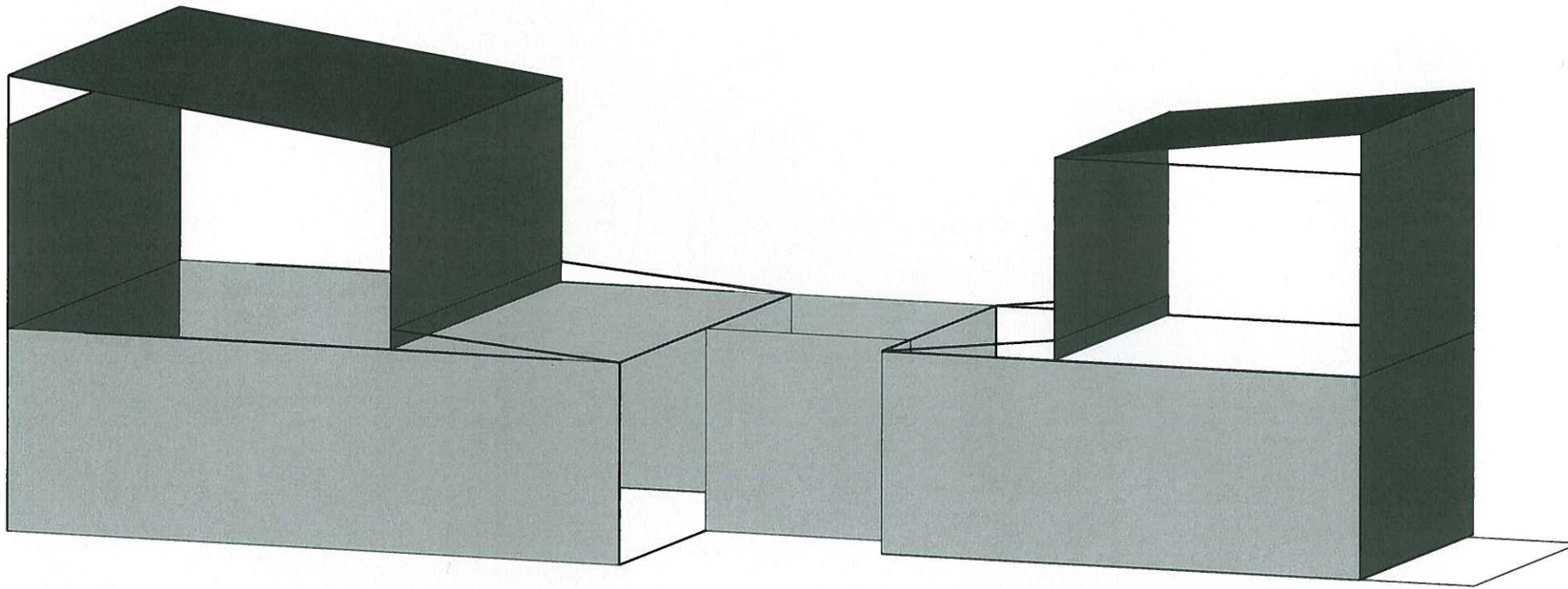
FREDERICK STREET  
40' R/W

SITE PLAN SKETCH  
**319 PRINCE EDWARD STREET**  
FREDERICKSBURG, VIRGINIA

**HGP, INC.**

PURINA TOWER SUITE 100 - 401 CHARLES STREET; FREDERICKSBURG, VIRGINIA 22401  
PH (540)371-5171 Email:HPALMER@HGP.BIZ  
LAND SURVEYING -- CONSULTING -- PLANNING -- SUBDIVISIONS -- BOUNDARIES - TOPOGRAPHY - BASE MAPPING - GEODETIC CONTROL

DATE: 1/28/16 SCALE: 1"=30'



NEW ADDITION

EXISTING STRUCTURE

319 Prince Edward Street



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for sign installation in Market Square Alley at 909 Princess Anne Street

---

### ISSUE

Fredericksburg Main Street, Inc. requests a Certificate of Appropriateness to install six banners and poles along the north side of Market Square Alley.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN GUIDELINES

City Code § 72-23.1(D)4 *Signs*

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) Placement.
  - [1] The sign shall be integrated architecturally with the building.
  - [2] Placement should not obscure significant architectural features or details of the building.
  - [3] A sign should be placed only at a location within the HFD at which the announced business or activity takes place.
- (b) Lettering.
  - [1] The sign should be legible.
  - [2] The style and lettering of the sign should be appropriate to the structure, the business and the streetscape.
  - [3] The lettering size should be in proportion both to the sign and the building.
- (c) Color.
  - [1] The colors of the sign should relate to those of the building.
  - [2] The sign should not have so many colors that they detract from the strength of the visual image.
- (d) General standards.
  - [1] Signs attached to windows announcing sales, etc., are discouraged as incompatible with the character of the HFD.
  - [2] All signs shall meet the requirements of § 72-59, Signage.

*Signs (Historic District Handbook, pg.117-118)*

1. A sign should fit the architecture of its building and not obstruct defining elements.
2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

## **BACKGROUND**

Fredericksburg's former Town Hall and Market House at 909 Princess Anne Street was constructed between 1814 and 1816. The upper two stories of the Federal-style structure housed many of the City's governmental and social functions, while the arcaded lower story opened onto Market Square and was used by a variety of vendors and farmers to sell their wares. Market activities had been occurring at this site since the incorporation of the city, with documentation of these activities appearing in city records and supported by archaeological studies. When the Town Hall structure was completed, the alley was provided as a connection from Caroline Street to the Market Square. It is labeled as "Market St" on John Goolrick's c.1814 plat of the site and has been maintained as a public right-of-way ever since.

Fredericksburg Main Street, Inc. has recently completed a branding initiative for downtown Fredericksburg with the goal of creating a unified identity. The brand incorporates six attributes which will be used to identify various attractions or experiences in Fredericksburg: Savor (food), Peruse (retail and service), Reflect (historic), Navigate (outdoor recreation), Create (art), and Honor (memorial). Main Street plans to implement this branding through a variety of physical elements, including flags, banners, signage, and storefront decals. At this time, Main Street is seeking approval for installation of six banners representing the six attributes defined in Market Square Alley. The other elements of the proposed branding are not included with this Certificate of Appropriateness, but are presented here to provide an understanding of the full project scope.

The proposed banners are 30 inches wide by 96 inches tall, made of fiberglass-reinforced block-out vinyl with a one-year warranty. These will be mounted to 18-foot tall fluted aluminum poles with a decorative base and ball finial at the top. The poles will be mounted in 24-inch square by 48-inch deep concrete footers. They will be spaced evenly along the length of the north side of the alley. The poles will be located immediately adjacent to the north wall, but will not be attached to the wall. The banners will be mounted on rods projecting from the poles, with nine feet eight inches of clearance between the ground and the bottom of the banners. The banners will occasionally be changed out with banners of a different design.

The poles and banners will be installed adjacent to the side elevation of 922 Caroline Street. This elevation is a simple wall of brick construction. The proposed installation will not have an adverse impact or obstruct any character-defining features. The banners are not intended to advertise a particular business, so the standards for sign allowance do not apply. However, the standards do provide a reference point for the size of appropriate signage in order to prevent visual clutter. Businesses are allowed one-

and-one-half square feet of signage per one foot of building frontage. The side elevation of 922 Caroline Street is 134 feet in length and would be allotted 201 square feet of signage. The proposed banners total 120 square feet in area, well within the allotted amount. The proposed banners are visually compatible with the historic character of the District and will not have an adverse impact on this historic site. In addition, the banners will enhance the historic linkage between Caroline Street and Market Square, encouraging its continued use as a public access point to the square. Approval of the request as submitted is recommended.

### **APPROVAL CRITERIA**

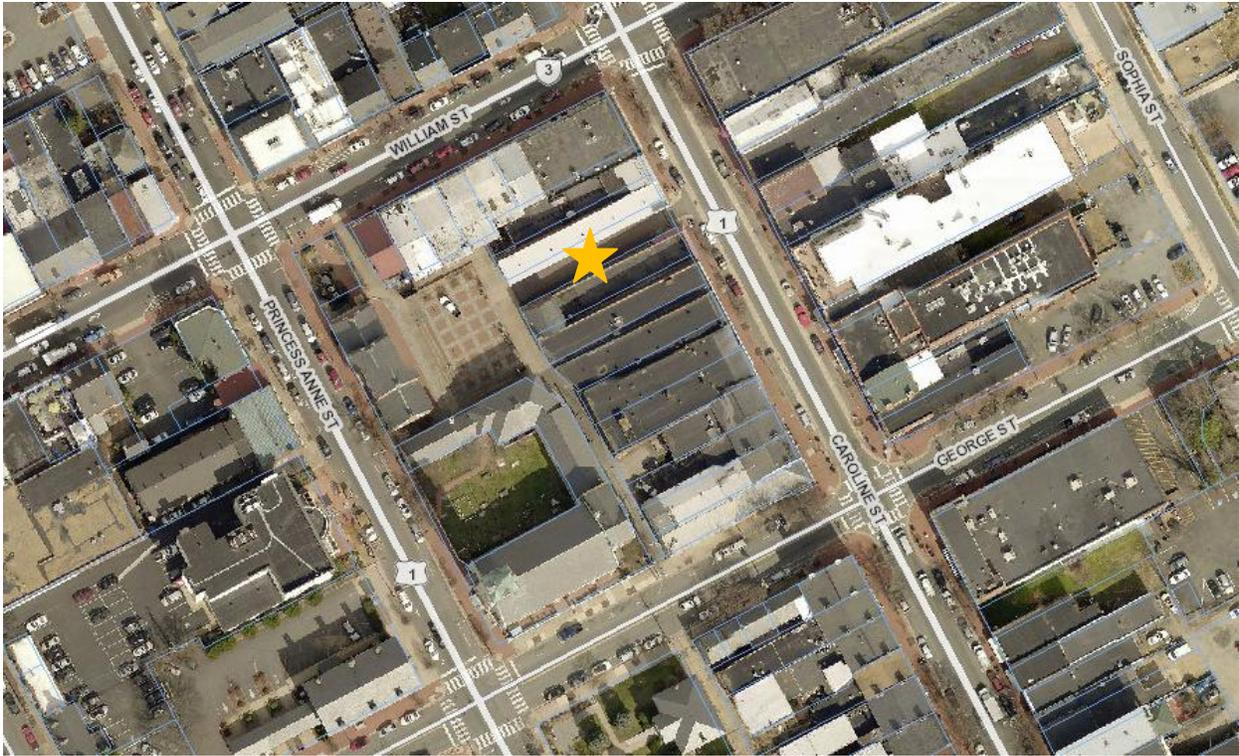
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

X			(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial and site location photographs
2. 1814 plat of Market Square by John Goolrick
3. Sanborn Fire Insurance Maps, c.1886 and c.1947
4. Branding design package provided by applicant



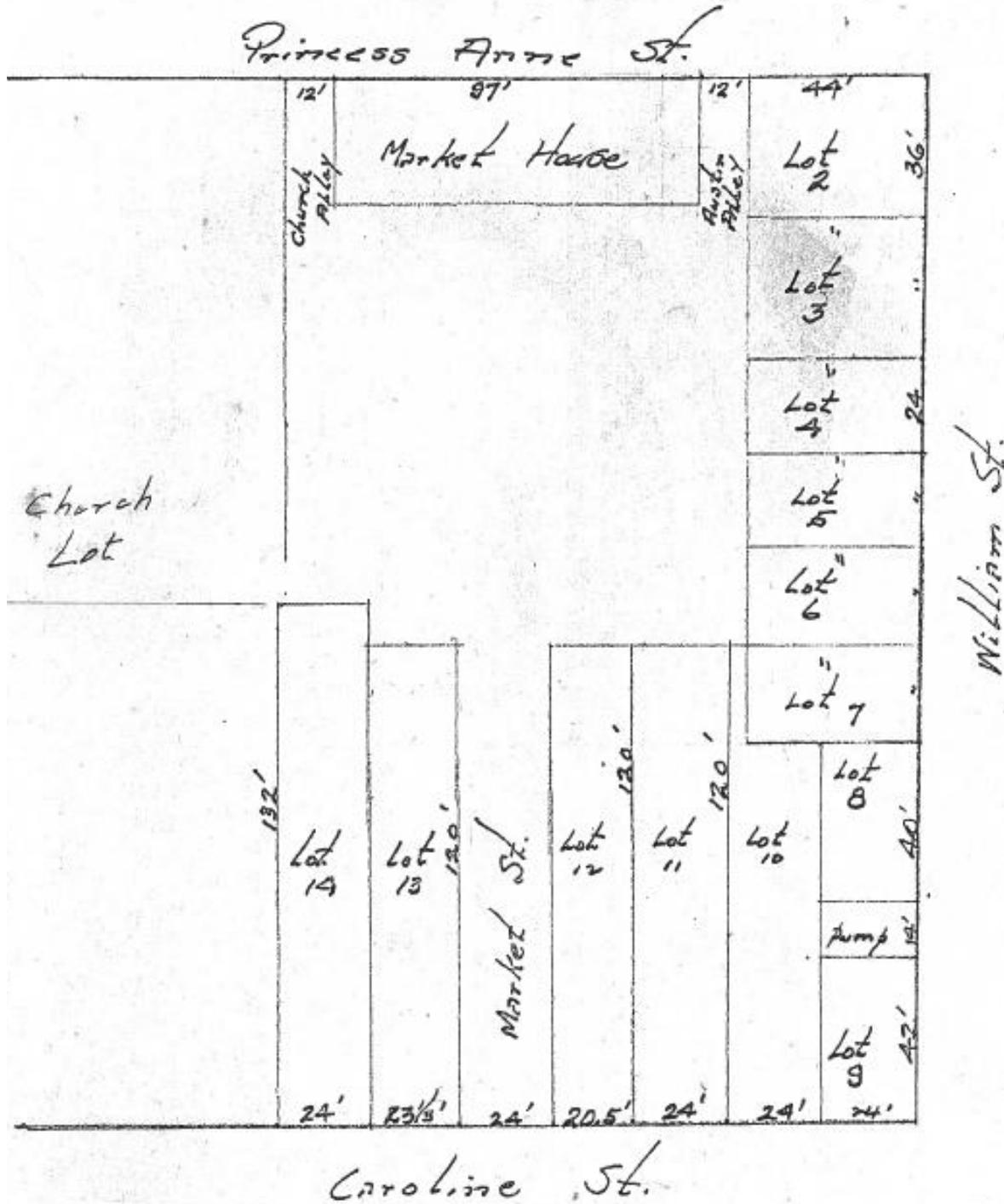
AERIAL

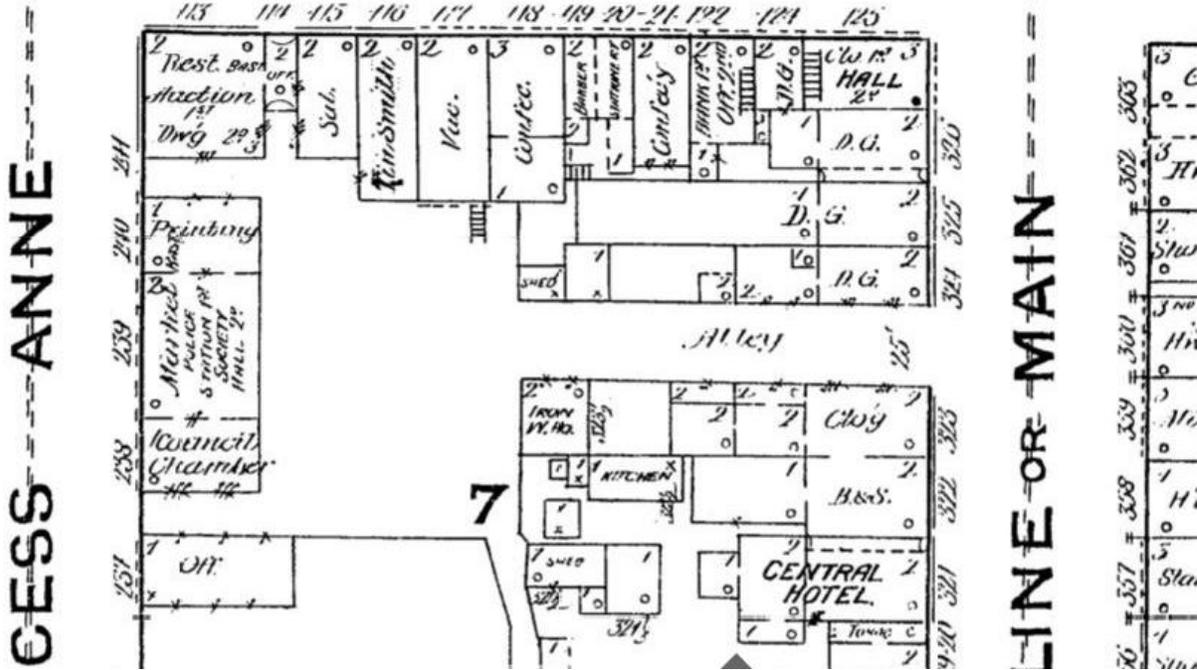


PROJECT SITE

The Plan for a New Market House, Town  
Hall, and Council Chamber  
with  
A Diagram of Lots To Be Leased

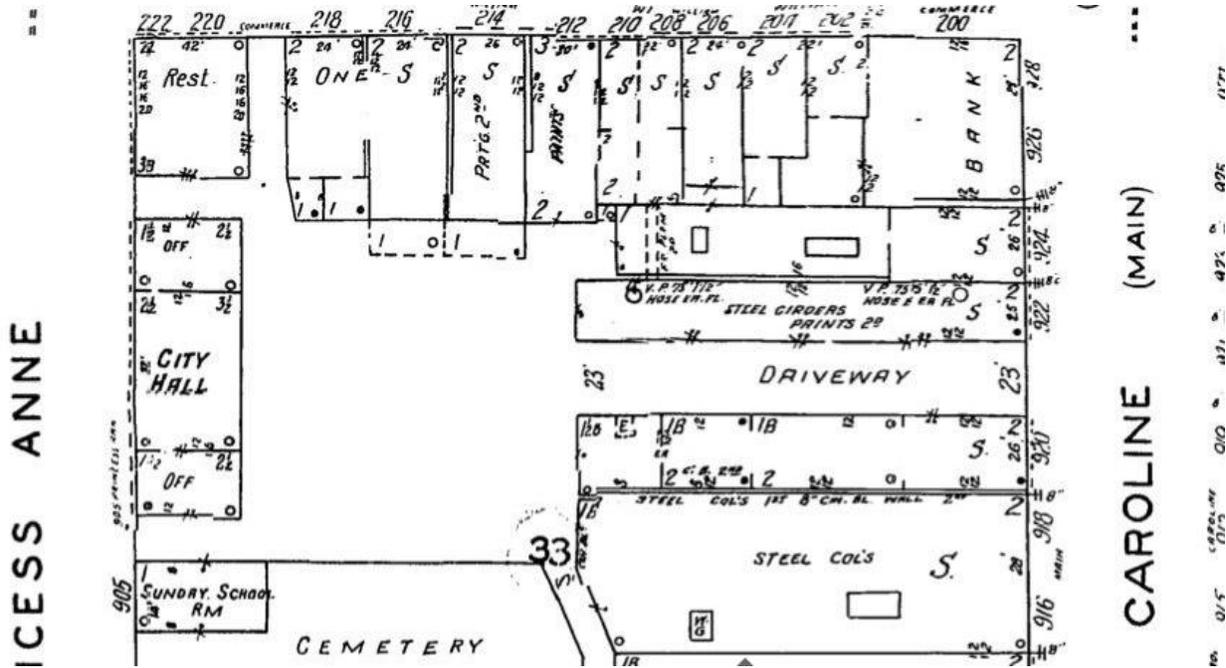
(A Sketch of John Goolrick's  
plat, dated April 27, 1814,  
recorded in City Council Min-  
utes, Book 1801-1829, p. 221)





Sanborn Fire Insurance Map, c.1886

Note continued use of alley for access to Market Square.



Sanborn Fire Insurance Map, c.1947

Note continued use of alley (driveway) for access to Market Square.



Fredericksburg VA Main Street has recently reached one of its milestones- completing a branding initiative for the Main Street District. Branding is more than just a logo and tagline but a clear, compelling and unique message. It is the foundation that helps to make a place desirable as a business location, visitor designation or a place to call home. The branding strategy is a deeper, more emotionally shared vision that influences actions and stimulates economic growth. The initial branding launch incorporates brand elements into a new web site for our district, open late flags, banners, downtown gift cards, decals, and #loveFXBG cards. This is our first step to cohesively promote Downtown. Downtown businesses will be encouraged to use the logo and style guide (compliments of Main Street) in their marketing to further assert the key unique qualities of our historic district as a vibrant and healthy community for residents, businesses, visitors and property owners.

Currently Downtown Fredericksburg does not have a unified brand identity. There is a regional identity, *Timeless Fredericksburg*, which addresses the City of Fredericksburg as a whole, Spotsylvania and Stafford Counties. In late 2015, Fredericksburg VA Main Street hired Higashi Glaser Design to create a brand identity for both the FVMS organization and district. This brand compliments the regional brand and can stand on its own while leveraging the city's small town appeal and historic charm with the energy of its present-day business community.

There are 2 directives that will initiate the launch of this project.

One: Develop a new website that can serve both the internal (the FVMS Organization) and external (visitor, resident, business and property owner) audiences. The new website will act as a platform for communication for the organization as well as an orientation hub for a visitor or business owner. The new website will present engaging content while informing the public on essential items such as an overall map showcasing the historic sites, parking, public restrooms and ATM locations. Estimated Deliverable Time Frame: Late Fall.

Two: Create and execute several physical and visual elements to introduce the new brand to the public. Open Late flags, banners, #LoveFXBg cards, branded gift cards, and decals used simultaneously will produce the desired outcomes of an engaged downtown within the businesses and the community while promoting the qualities of the Downtown experience. In accordance with the brand promise there 6 attributes with the corresponding call to action: Savor (food), Peruse (retail and service) Reflect (historic), Navigate (outdoors recreation, Create (art) and Honor (memorial).

Deliverable Time Frame: Late Fall.



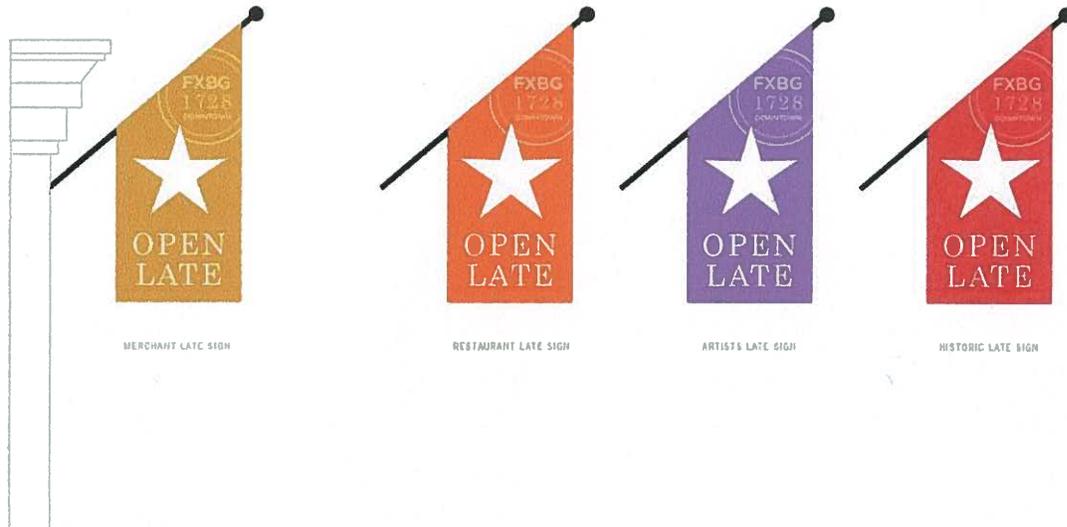
*Forever Revolutionary*

FREDERICKSBURG • VA

# Phase 1

## Flags and Banners

**Main Street Open Late Flags:** This will be the same size as the current open late flags. 2' x 3', double sided vinyl flags.



**Banners:** 3 locations total. 2 locations have same images as below. (A) Market Square Alley and (B) Train Station.



### A) Market Square Alley

The 30" x 96" double sided, 4 color, vinyl banners are part of the Downtown Brand that will be released in Fall 2016.

Material: 26 oz. fiberglass reinforced block out vinyl, 1-year warranty.

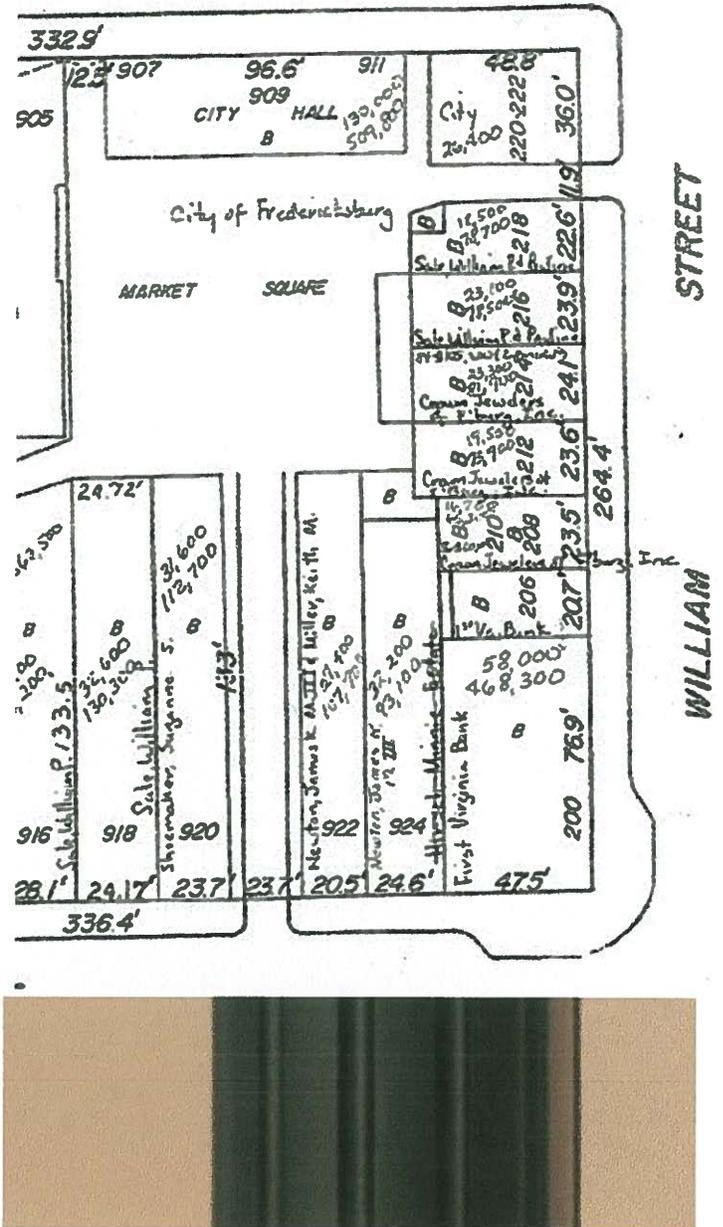
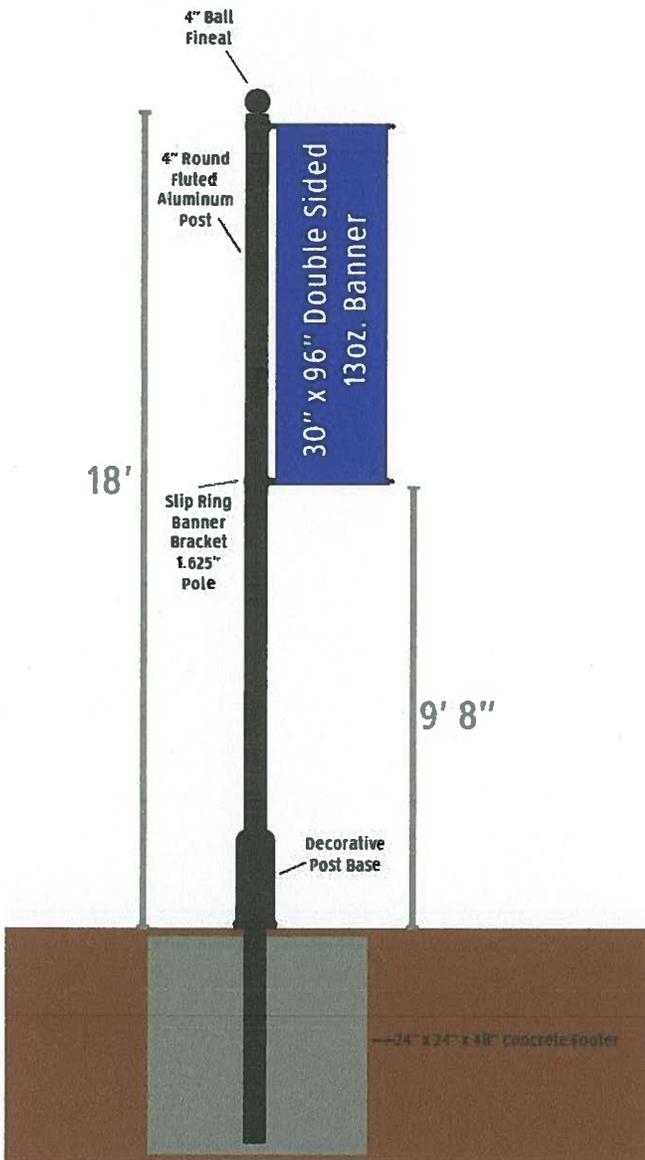
Desired completion date: Late Fall.



This is a conceptual design. The pavers are not part of the project.

Planters will also be located on the same side as the banners.

Main Street will enter into a MOU with the City's DPW for the maintenance and installation of the poles and banners. Similar to the same agreement as for the Main Street's planters. All poles and banners will be Main Street's responsibility. It is the intention of Main Street that these banners will change out periodically.



Search Results > Message Detail Print Previous N  
**Subject:** RE: Market Square Alley trees and banners  
**From:** Parris Sachs <PSachs@fd.fredericksburgva.gov> (Add as Preferred Sender)  
**Date:** Mon, Apr 04, 2016 1:09 pm  
**To:** "info@fredericksburgmainstreet.org" <info@fredericksburgmainstreet.org>  
**Cc:** David King <dking@fredericksburgva.gov>, "Jane C. Shelhorse" <jcshelhorse@fredericksburgva.gov>, "Mame E. Sherman" <msherman@fredericksburgva.gov>

As long as there is 20ft of width to the center of the street and a unobstructed vertical clearance of not less than 13' 6". You should be fine.

**Parris Sachs, CFEI**  
**Fire Marshal**  
**Fredericksburg Fire Department**  
**601 Princess Anne St.**  
**Fredericksburg, VA 22401**  
**Office-540-372-1059**  
**Fax-540-372-1050**

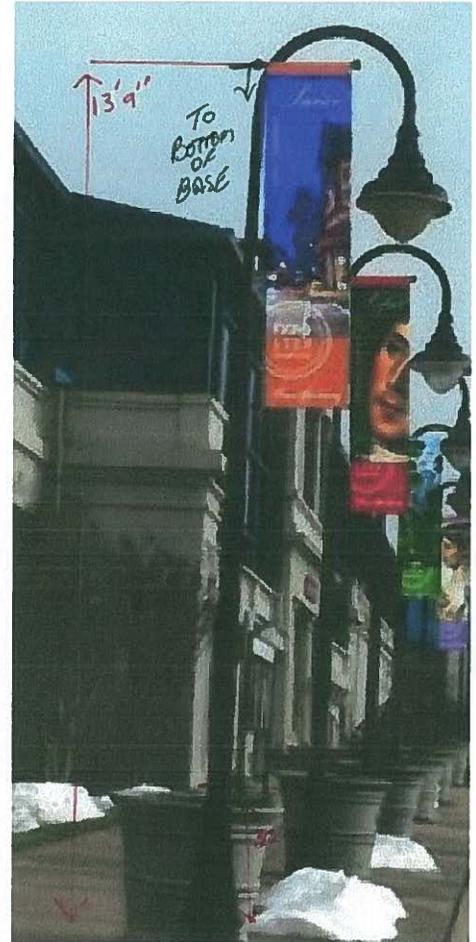
## B) Train Station

2 of each designs on either side of the main entrance. Doubled sided, 4 color vinyl/sunbrella banners. 24" x 48" based on light poles with 10' clearance.

Materials: 100% sunbrella. Three year consecutive years or five seasonal prorated warranty.

Desired Time Line: Late Fall

Main Street would enter into an agreement with DPW and/or Parks & Rec on the maintenance and installation of the banners.



## C) Banners on Colonial Lights Poles

These 18" x 36" banners would be install on the colonial lights poles within the Main Street district.

Main Street would enter into an agreement with DPW on the maintenance and installation of the banners.

Time Line: Late Fall install. One year commitment.

Banners will be placed on the sidewalk side only on colonial light poles.

Desire to place banners on side streets and other locations. Colonial Light poles do not exist on side streets.

Possible solution: Agreement with utility company for banner install on poles or with the City on the overhead street lights.

## Side Street Signage for Businesses

Numerous conversations regarding signage for side street business owners and with Fredericksburg's Department of Planning have occurred. From Sandwich Boards, signage or banners on buildings and poles, there doesn't appear to be an easy, one size fits all solution to the side street's concerns. There is a desire to solve this dilemma with a more permanent solution.

**Temporary solution** for the upcoming busy months- temporary decals that are located on the sidewalk. These are typically a 3.4 Mil Vinyl with a 5 Mil UL rated over laminate with an UL approved slip resistant finish. Up to 3 months of exterior life.

Sample copy – our design would not call out one business.

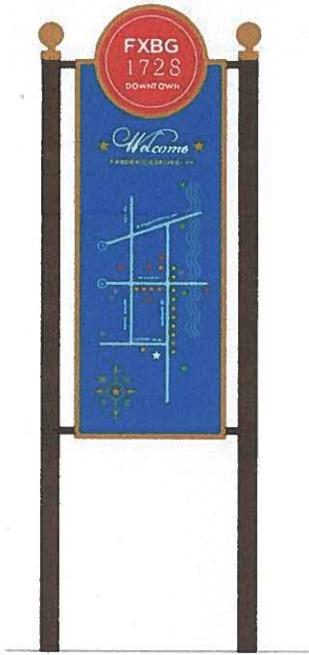


# Phase 2

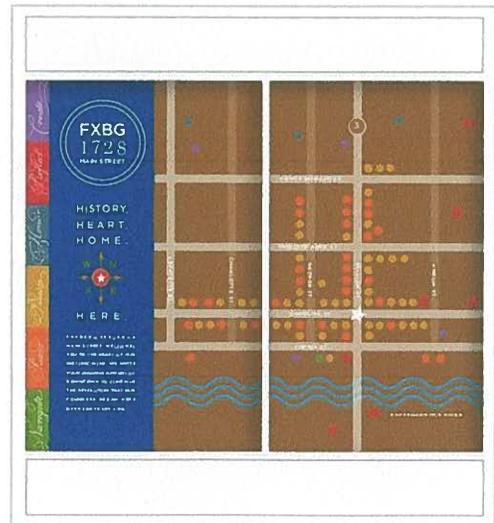
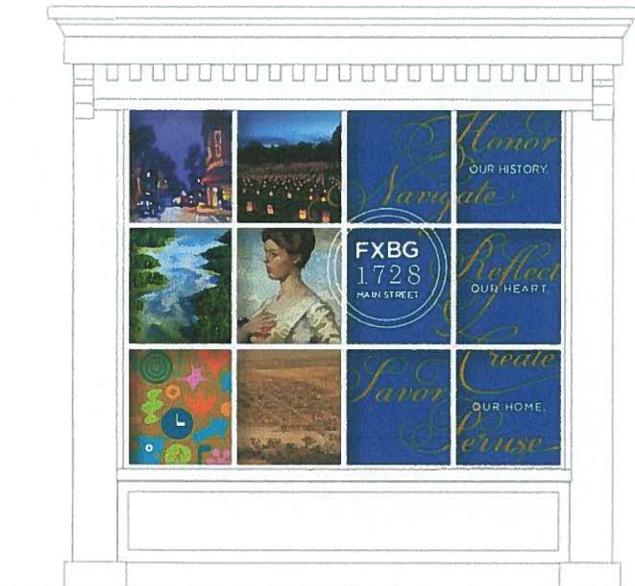
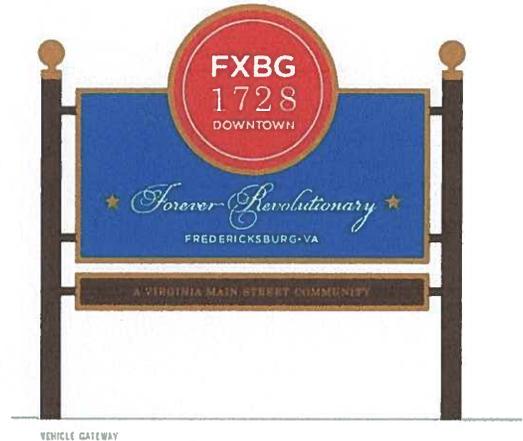
2 locations: Train Station and Garage

To be done in conjunction with Parks & Rec kiosks

2<sup>nd</sup> phase: Sophia Street lot and any City future parking lots.



To replace the current Main Street Community Signs located on upper William Street near Blue and Grey Parkway and on Princess Anne Street at Route 1 entrance.



Sample of temporary store front slicks for empty windows. Material: removable decals or banners.



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for sign installation at 707 Caroline Street

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### ISSUE

Young Lim requests to install one building-mounted sign, one hanging sign, and a black canvas awning with lettering for the Haru restaurant.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request on condition that the awning and building sign be mounted to the building through the mortar joints rather than the historic brick.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1(D)4 *Signs*

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) Placement.
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  - [3] A sign should be placed only at a location within the HFD at which the announced business or activity takes place.
- (b) Lettering.
  - [1] The sign should be legible.
  - [2] The style and lettering of the sign should be appropriate to the structure, the business and the streetscape.
  - [3] The lettering size should be in proportion both to the sign and the building.
- (c) Color.
  - [1] The colors of the sign should relate to those of the building.
  - [2] The sign should not have so many colors that they detract from the strength of the visual image.
- (d) General standards.
  - [1] Signs attached to windows announcing sales, etc., are discouraged as incompatible with the character of the HFD.
  - [2] All signs shall meet the requirements of § 72-59, Signage.

*Signs (Historic District Handbook, pg.117-118)*

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2. The number of signs should be compatible with the building and should not cause visual clutter.
3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

*Awnings (Historic District Handbook, pg. 119)*

1. Awnings should be placed to enhance rather than obscure architectural elements.
2. Avoid metal awnings.
3. The size, type, and placement of awnings should not interfere with signs or distinctive architectural elements.
4. Coordinate colors and patterns with the color scheme of the building.
5. The awning valance may be used for a sign, where appropriate, although these should be professionally sewn or painted.

**BACKGROUND**

The structure at 707 Caroline Street is a c.1810 Federal-style building. The three-story, three-bay, side-gabled building was constructed as a dwelling, but converted to commercial use in the second half of the 20<sup>th</sup> century. Constructed of brick laid in Flemish bond, character-defining features include evenly spaced nine-over-nine, nine-over-six, and six-over-six double-hung sash wood windows on the first, second, and third stories respectively. Sandstone sills and splayed brick lintels frame each window. A corbelled brick cornice runs beneath the eaves and two brick chimneys with corbelled caps rise from the asphalt-shingled roof. This building is a contributing structure in the district.

The applicant proposes to install signs for the Haru restaurant occupying the first floor of the building. A hanging sign, 30 inches wide by 18 inches tall, will be constructed of half-inch MDO board with vinyl graphics. The sign will hang from the existing metal bracket above the entry door. A black canvas awning, 140 inches long by 36 inches deep by 36 inches tall will be mounted above the ground floor windows. The restaurant name will be displayed in six-inch tall letters on the awning valance. A building-mounted sign, 60 inches wide by 24 inches tall, will be centered above the awning on the wall. The sign allowance for this property is based on 24 linear feet of building frontage. The sign allowance is calculated as follows:

$$24 \text{ linear feet} \times 1.5 = 36 \text{ square feet}$$

<b>Sign Type</b>	<b>Dimensions</b>	<b>Area (square feet)</b>
Building-Mounted Sign	24 inches x 60 inches	10
Hanging Sign	18 inches x 30 inches	3.75
Awning Lettering	6 inches x 96 inches	4

		<b>Total = 17.75</b>
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The total area of the signs proposed is 17.75 square feet which is under the allowance for this site of 36 square feet. The sign materials and styles are compatible with the historic character of the District, are minimally invasive, and will not have an adverse impact on the historic significance of the structure. Approval of the request as submitted is recommended on condition that the wall sign and the awning are mounted to the building through the mortar joints rather than the historic brick.

### **APPROVAL CRITERIA**

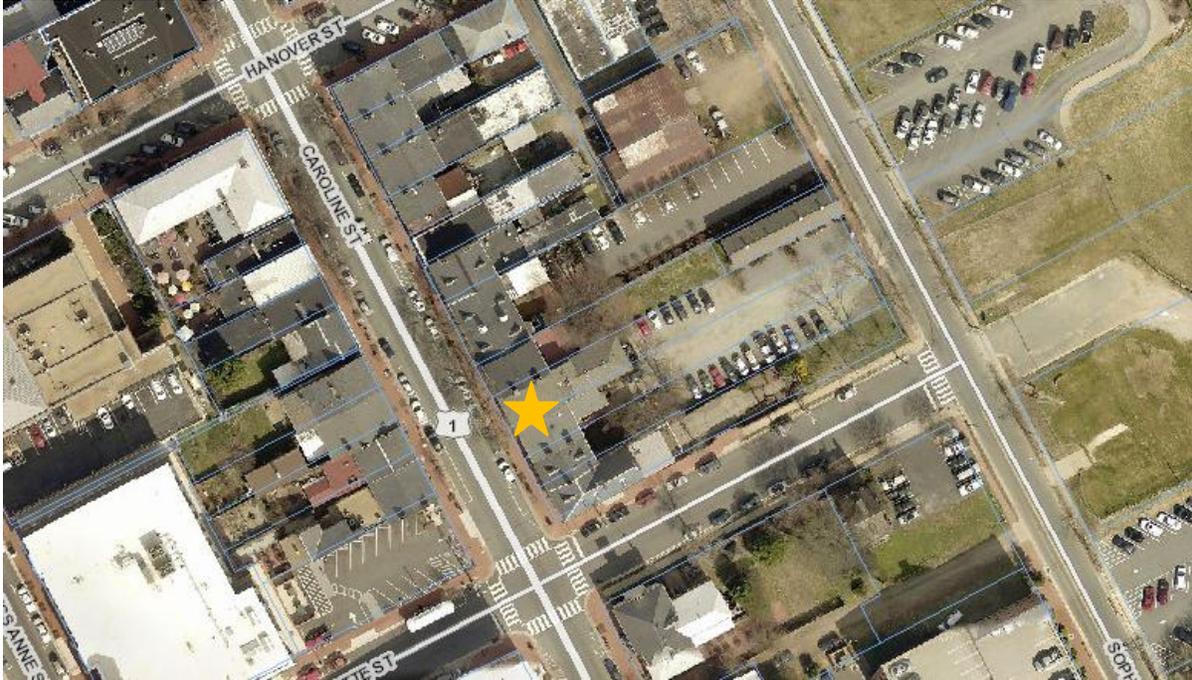
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X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
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X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
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		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

1. Aerial photograph and front elevation view
2. Awning and wall-mounted sign specifications
3. Hanging sign specifications

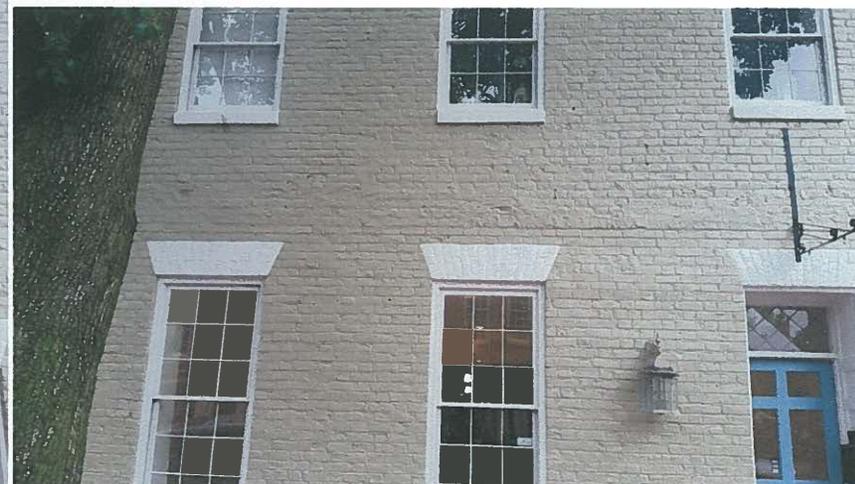
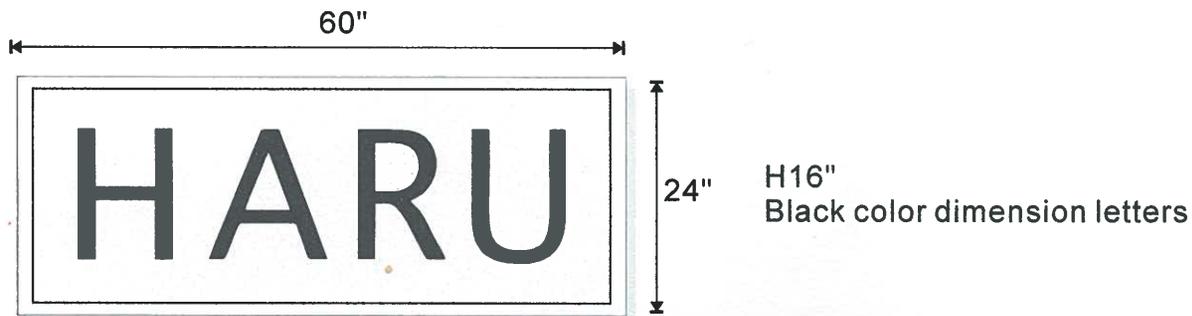


AERIAL



FRONT (WEST) ELEVATION

Awning, Wall mount sign



Hanging Sign 18"x30"



1/2" white MDO Board on Vinyl sheet





## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for sign installation at 1110 Caroline Street

---

### ISSUE

Kyle Traugh requests to install one hanging sign and one door decal for the Good Times business.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

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4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

**BACKGROUND**

The structure at 1110 Caroline Street was constructed c.1925 as an auto repair shop. The three attached buildings at 1108-1112 Caroline Street appear to have been constructed at one time to house the auto repair shop, a garage entry bay, and a residence on the north end. The commercial portion of the building, at 1108-1110 is constructed of brick and concrete, and shows elements of the Art Deco style in the stepped brick parapet above the façade. The side elevation is parged, while the façade is laid in three and six-course American bond. ARB records indicate that the glass and aluminum storefront was installed in 1995. The building is a contributing structure in the Historic District.

The applicant proposes to install two signs for the Good Times business. A painted aluminum oval panel, approximately 36 inches wide by 22.625 inches tall, will be suspended from the existing bracket centered above the storefront. A door decal, 26.5 inches wide by 16.625 inches tall, will be centered in the upper half of the glass entry door. The sign allowance for this property is based on 16 linear feet of building frontage. The sign allowance is calculated as follows:

$$16 \text{ linear feet} \times 1.5 = 24 \text{ square feet}$$

<b>Sign Type</b>	<b>Dimensions</b>	<b>Area (square feet)</b>
Hanging Sign	36 inches x 22.625 inches	5.65
Door Decal	26.5 inches x 16.625 inches	3.05
		<b>Total = 8.7</b>

The total area of the signs proposed is 8.7 square feet which is under the allowance for this site of 24 square feet. The sign materials and styles are compatible with the historic character of the District, are minimally invasive, and will not have an adverse impact on the historic significance of the structure. Approval of the request as submitted is recommended.

**APPROVAL CRITERIA**

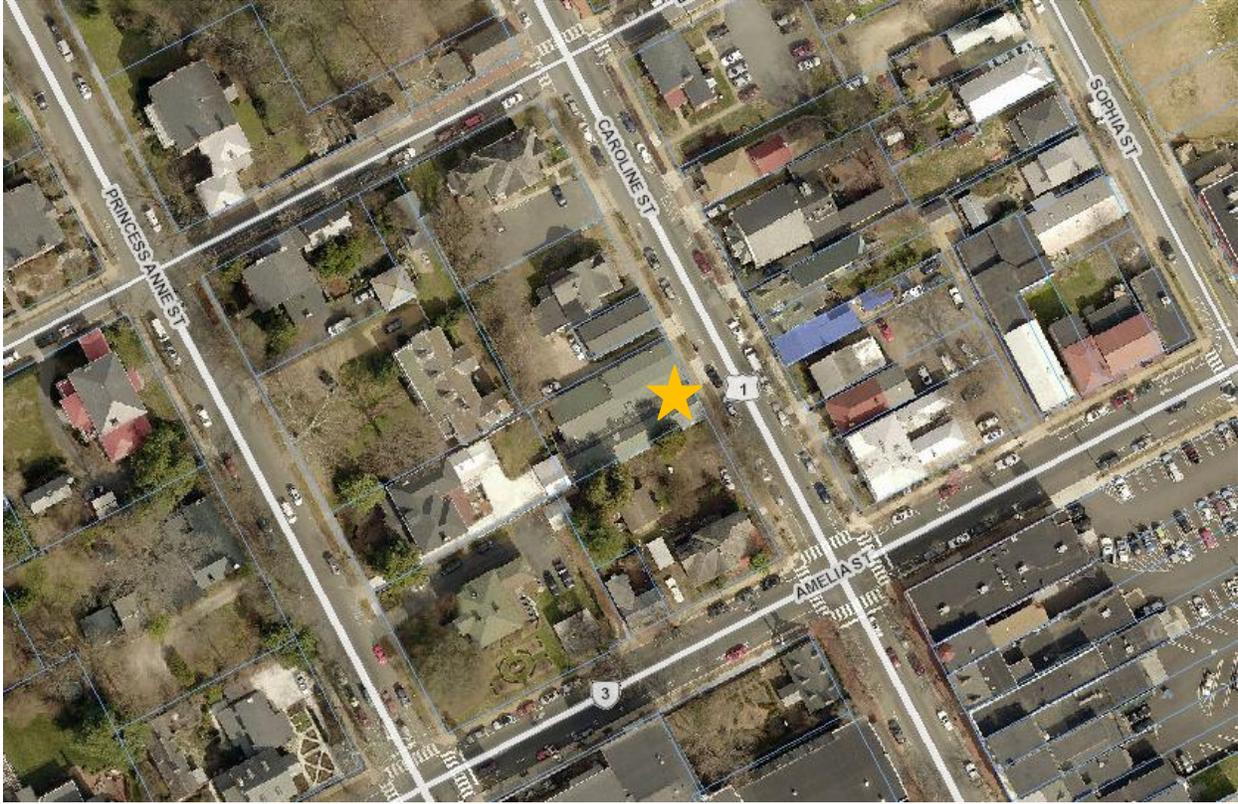
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies</b>	<b>D – does not satisfy</b>	<b>NA – not applicable</b>
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			purposes.
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X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

1. Aerial photograph and front elevation view
2. Photograph, graphics design
3. Awning and wall-mounted sign specifications
4. Hanging sign specifications



AERIAL

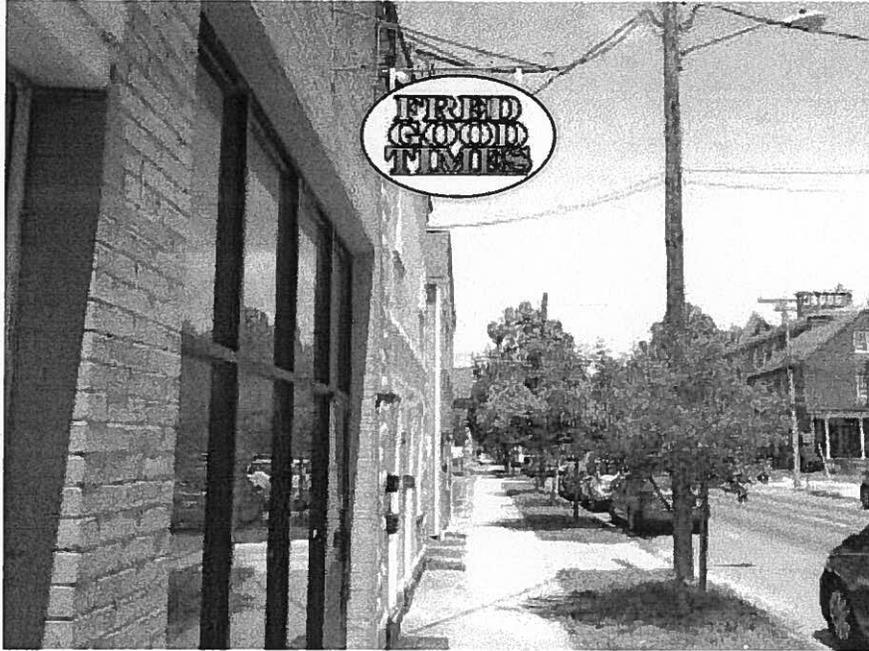


FRONT (EAST) ELEVATION



Proposed Sign

Graphics to be used for both the hanging sign and door decal.



**Note:** This drawing depicts size and placement only. Graphics are shown in photograph.

SCALE: 1 1/2" = 1'-0"

REFACE EXISTING SIGN  
 LOGO GRAPHICS IS A JPG FILE



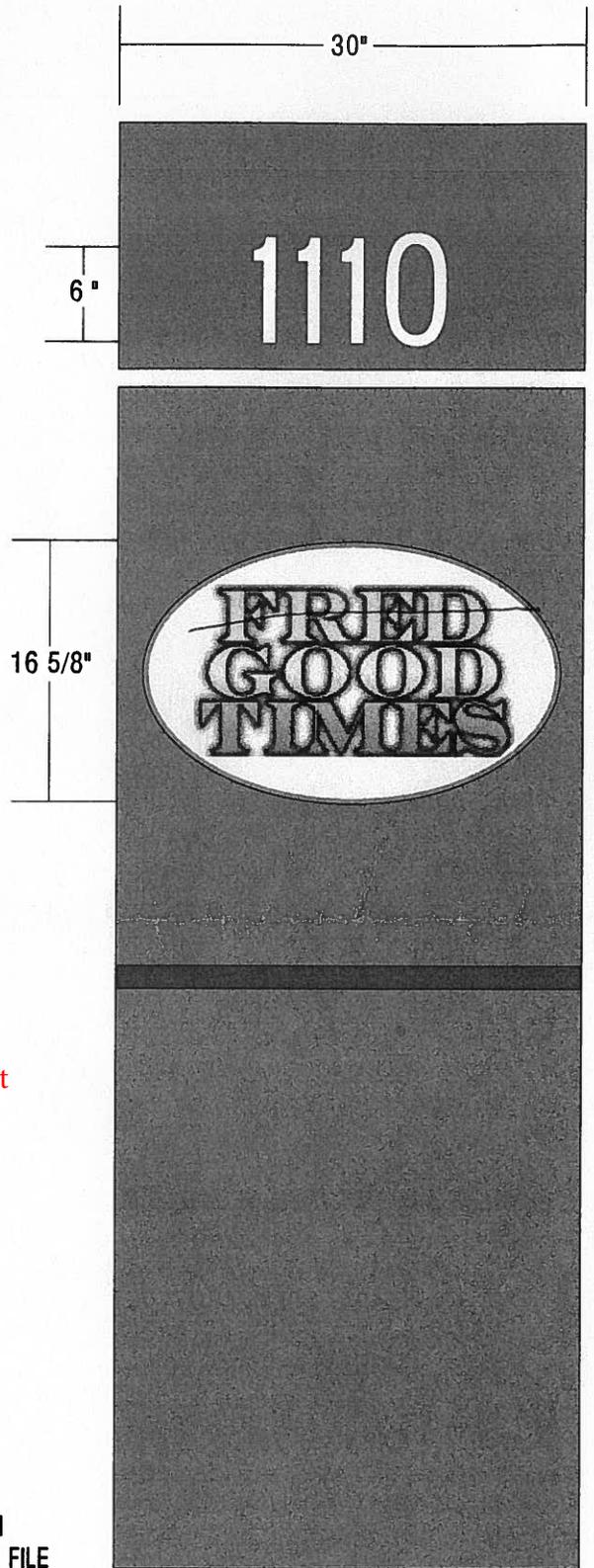
**DOWLING SIGNS INC**  
 1801 Princess Anne St.  
 Fredericksburg, VA 22401  
 800 572-2100

<b>SALES PERSON:</b> TIM	<b>REVISED:</b>	<b>DATE:</b> 4.26.16
<b>SAVED AS:</b> FREDGOODTIMES		<b>DRAWN BY:</b> SW

**APPROVED BY:** \_\_\_\_\_  
By signing I affirm that the artwork on these drawings, colors, size, spelling, etc., are correct.

THIS LAYOUT WAS CREATED BY DOWLING SIGNS INC AND CANNOT BE USED FOR ANY OTHER ADVERTISING WITHOUT WRITTEN PERMISSION.

DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK-BASED PRINTING PROCESS THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH BETWEEN INK, VINYL, PAINT, OR LED COLOR. ALL MEASUREMENTS SHOWN ARE APPROXIMATIONS; DIMENSIONS OF FINAL PRODUCT MAY VARY.



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## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for sign installation at 619 Caroline Street

---

### ISSUE

Robert Davis requests to retain one building-mounted sign and one window decal for the Aspetto business.

### RECOMMENDATION

Approval of the Certificate of Appropriateness for the request as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

City Code § 72-23.1(D)4 *Signs*

The ARB shall consider the following in determining the appropriateness of any application for a sign proposed within the HFD:

- (a) Placement.
  - [1] The sign shall be integrated architecturally with the building.
  - [2] Placement should not obscure significant architectural features or details of the building.
  - [3] A sign should be placed only at a location within the HFD at which the announced business or activity takes place.
- (b) Lettering.
  - [1] The sign should be legible.
  - [2] The style and lettering of the sign should be appropriate to the structure, the business and the streetscape.
  - [3] The lettering size should be in proportion both to the sign and the building.
- (c) Color.
  - [1] The colors of the sign should relate to those of the building.
  - [2] The sign should not have so many colors that they detract from the strength of the visual image.
- (d) General standards.
  - [1] Signs attached to windows announcing sales, etc., are discouraged as incompatible with the character of the HFD.
  - [2] All signs shall meet the requirements of § 72-59, Signage.

*Signs (Historic District Handbook, pg.117-118)*

1. A sign should fit the architecture of its building and not obstruct defining elements.
2. The number of signs should be compatible with the building and should not cause visual clutter.

3. The size of each sign and the total area of signs should match the character of the building and of the Historic District. Exact sign allowance should be verified with the Planning Office.
4. Sign design and graphics should be coordinated with the character of the building and the nature of the business.
5. Materials should relate to the building. Traditional sign materials include wood, glass, raised individual letters, and painted letters on wood or glass.

**BACKGROUND**

The structure at 619 Caroline Street is an Italianate commercial building constructed c.1910 as a jewelry store. The two-story flat-roofed structure features a projecting cornice and simple frieze with decorative scrolled brackets at either end. An intermediate cornice tops the ground-level storefront, which features a recessed central entry with paired glazed wood doors flanked by large glass display windows. Dentils and modillions adorn the cornices as well as the heavy bracketed pediments above the second floor double-hung wood windows. Stairs and a second-story entry portico project off the north side elevation. This entry is depicted on the 1919 Sanborn Fire Insurance map and appears to have been constructed soon after construction of the building itself. The building is a contributing structure in the Historic District.

The applicant has installed two signs for the Aspetto business and proposes to retain them. One sign is an adhesive decal mounted on the north side of the building and measures four feet wide by three feet tall. The decal provides the appearance of a painted sign and is not likely to damage the previously painted masonry surface. Additionally, a window decal is centered on the glass in the left entry door. The sign allowance for this property is based on 23 linear feet of building frontage. The sign allowance is calculated as follows:

$$23 \text{ linear feet} \times 1.5 = 34.5 \text{ square feet}$$

<b>Sign Type</b>	<b>Dimensions</b>	<b>Area (square feet)</b>
Building-mounted	36 inches x 48 inches	12
Door Decal	12.5 inches x 17 inches	1.48
		<b>Total = 13.48</b>

The total area of the signs proposed is 13.48 square feet which is under the allowance for this site of 34.5 square feet. The sign materials and styles are compatible with the historic character of the District, are minimally invasive, and will not have an adverse impact on the historic significance of the structure. Approval of the request as submitted is recommended.

**APPROVAL CRITERIA**

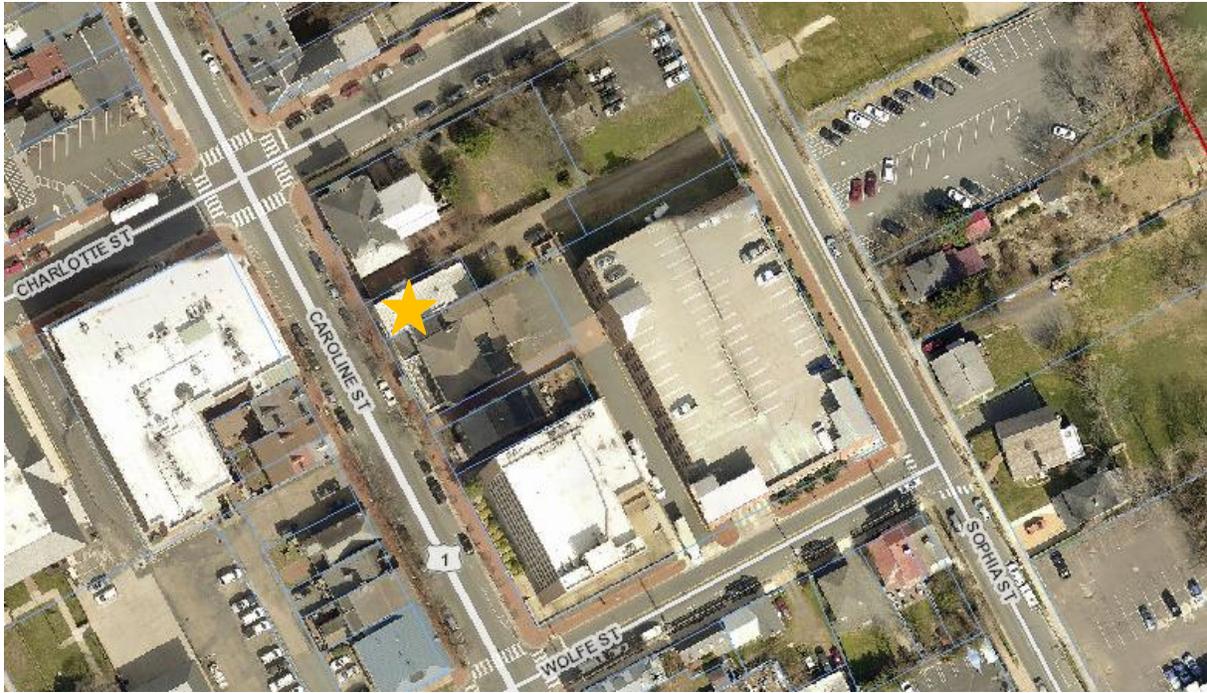
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## Attachments:

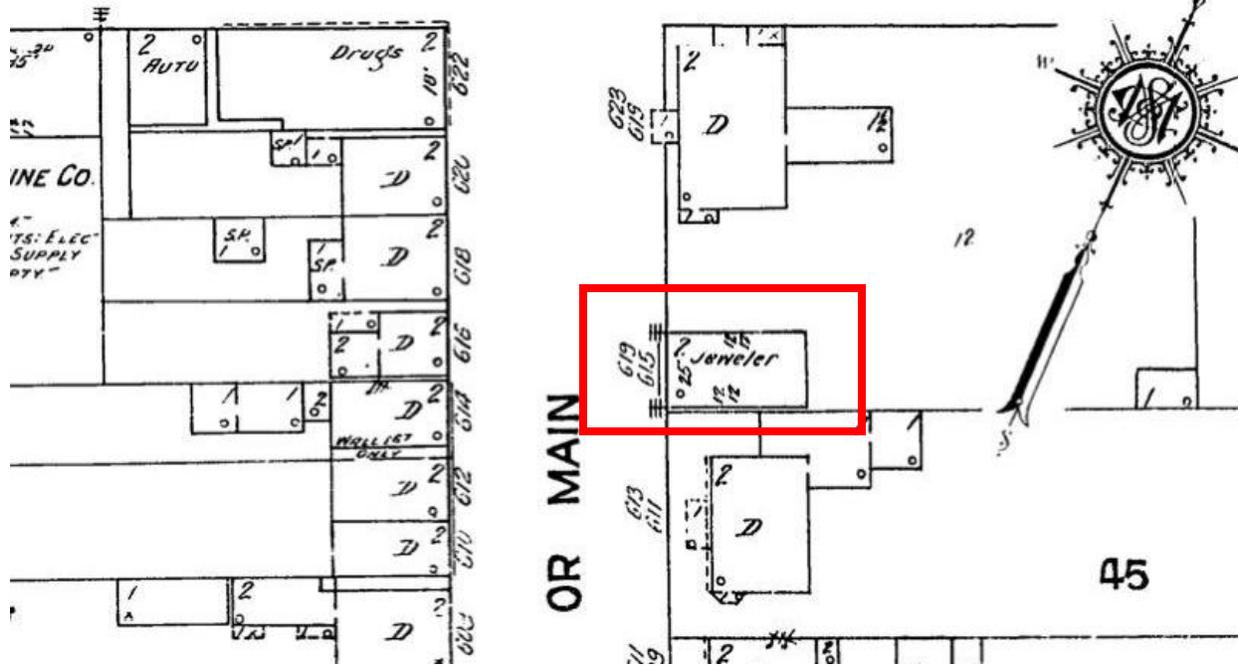
1. Aerial photograph and front elevation view
2. Sanborn Fire Insurance Maps, c.1912 and c.1919
3. Photographs, existing signs



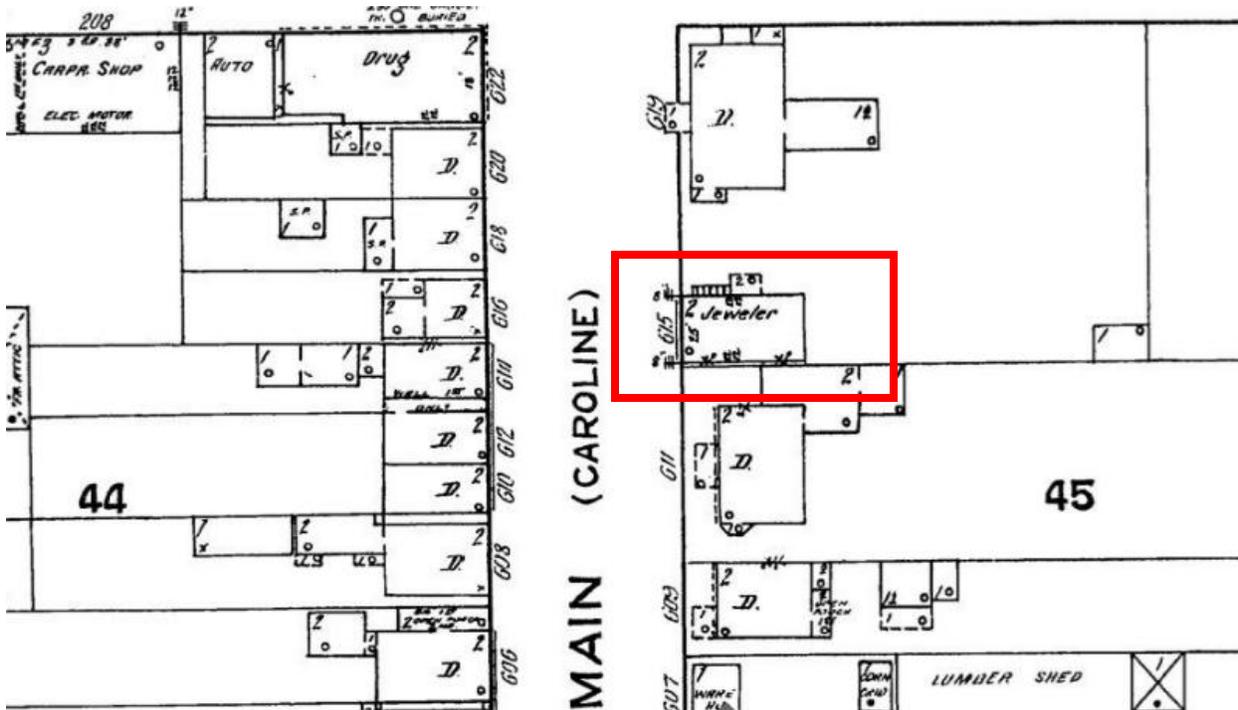
AERIAL



FRONT (WEST) ELEVATION



Sanborn Fire Insurance Map, c.1912



Sanborn Fire Insurance Map, c.1919



Decal sign on north side elevation



Decal on entry door



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for new accessory structure at 1011 Charles Street

---

### ISSUE

Dennis Sacrey requests to retain a plastic resin utility shed, seven feet wide by seven feet long by eight feet eight inches tall, located at the rear of the Fredericksburg Baptist Church's Princess Anne Street parking lot.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Standard 9.* New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*Standard 10.* New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### BACKGROUND

This property, located on the west side of Princess Anne Street, across from the Fredericksburg Baptist Church, is a small grassy area located at the rear of the Church's parking lot. No structures are located on this site and the property does not contribute to the historic significance of the district.

The Fredericksburg Baptist Church has installed a plastic resin utility shed at the rear of this parking lot in a grassy area near the center of the block. The shed measures approximately seven feet wide by seven feet long by eight feet eight inches in height. The resin is molded to appear as board siding and a shingled gable roof. Paired doors face east onto the parking lot. The shed does not have a foundation, but rests on a wood pallet. The structure is sited between two trees.

Fredericksburg's *Historic District Handbook* does not provide specific guidelines for the construction of new accessory structures, but the City of Richmond's *Design Review Guidelines* provide guidance that aligns with Fredericksburg's Historic District standards:

1. Outbuildings, including garages, sheds, gazebos and other auxiliary structures, should be compatible with the design of the primary building on the site, including roof slope and materials selection.
2. Newly constructed outbuildings such as detached garages or tool sheds should respect the siting, massing, roof profiles, materials and colors of existing outbuildings in the neighborhood.
3. New outbuildings should be smaller than the main residence and be located to the rear and/or side of the property to emphasize that they are secondary structures.
4. Prefabricated yard structures are discouraged. Screening will be considered as a mitigating factor for the installation of these structures. However, prefabricated structures will still be reviewed for compatibility.

Prefabricated structures are not typically recommended for use in the Historic District as the materials do not align with those recommended for use. However, the size, shape, roof profile, and placement of the structure are appropriate for the district. Additionally, the structure is heavily screened from view by vehicles and landscaping, including the Church’s buses, which are typically parked in front of the shed. Additionally, the location of the shed does not impact the front elevation view of any contributing structures in the area. The accessory structure does not have an adverse impact on the character of the district and approval of the request is recommended.

**APPROVAL CRITERIA**

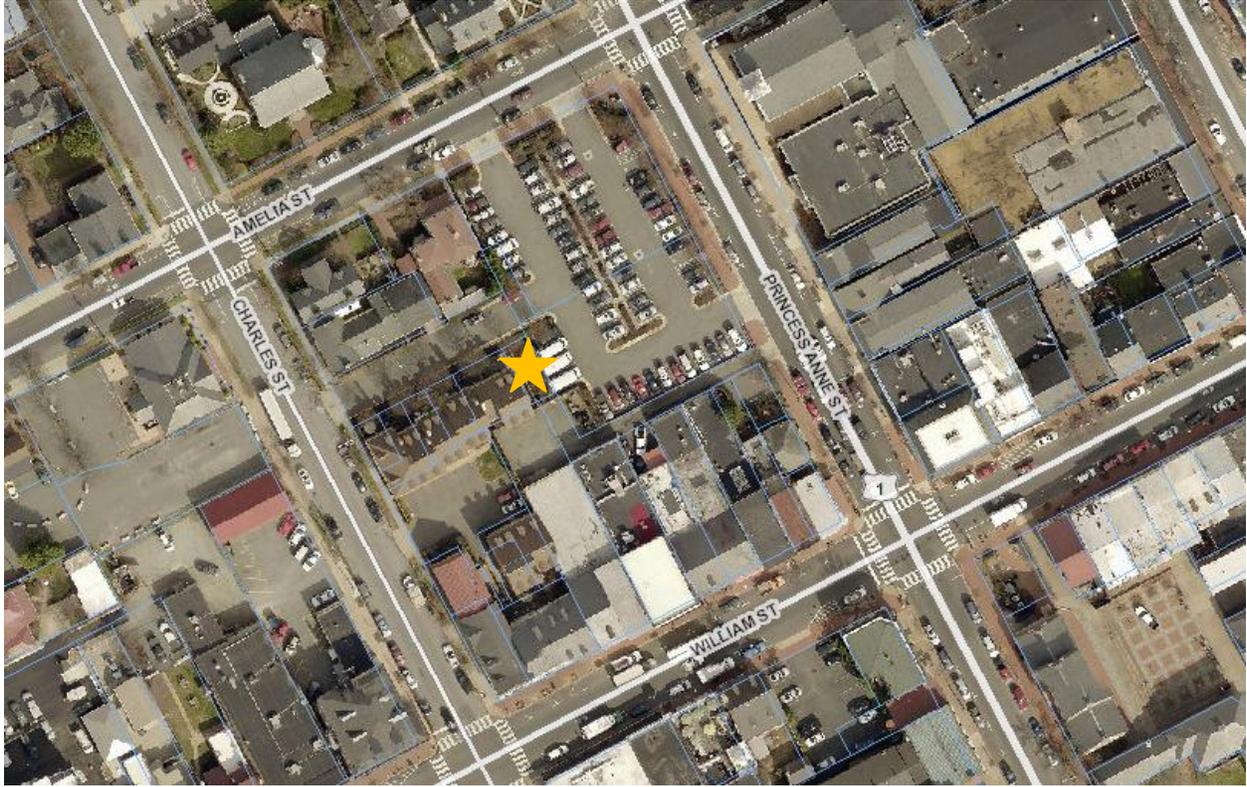
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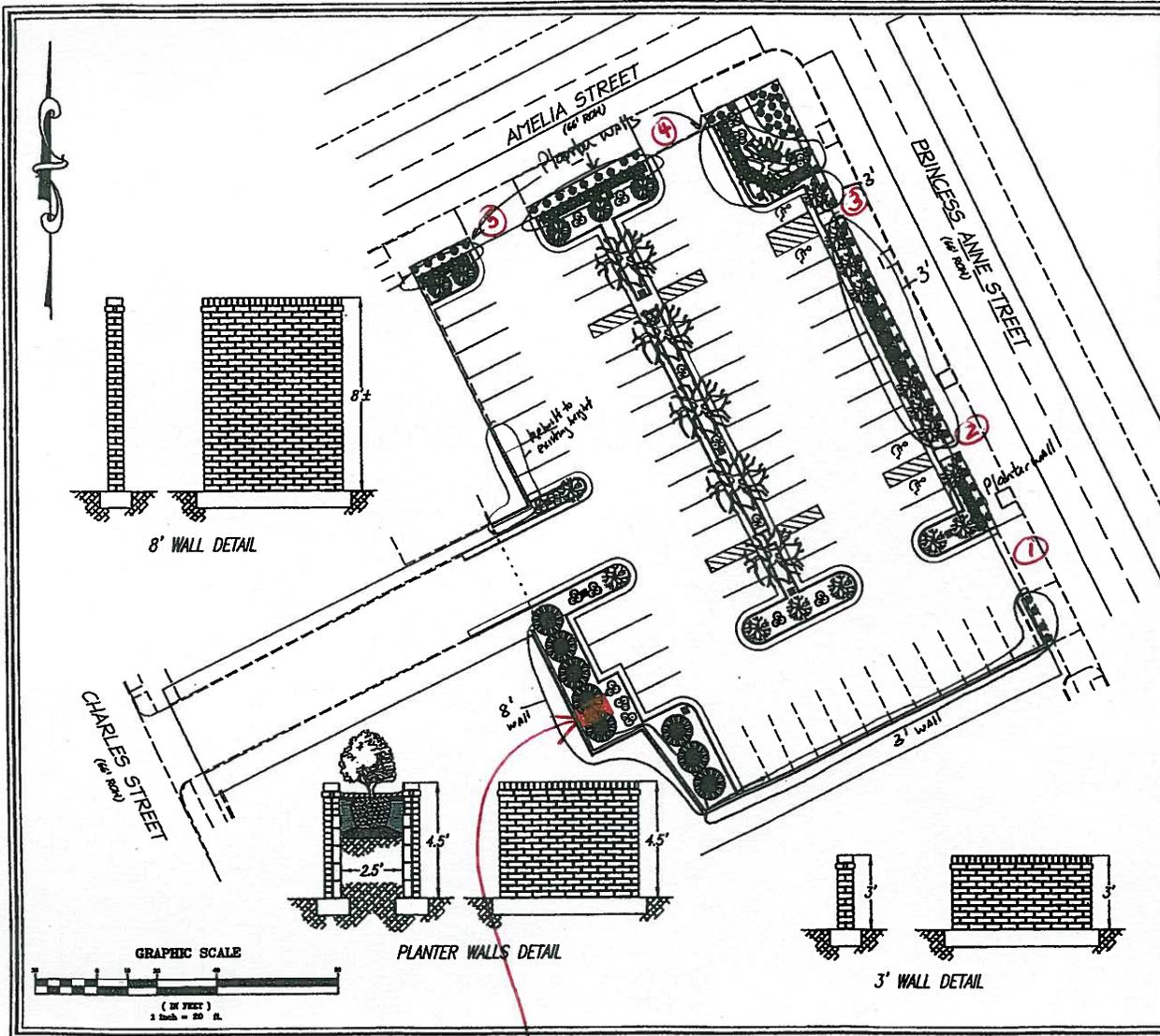
1. Aerial photograph and front elevation view
2. Site Plan
3. Shed Specifications
4. Photos 1-5 (keyed to Site Plan)



AERIAL



View Looking Southwest



### PLANTING LEGEND

-  *TILIA MONGOLICA* 'HARVEST GOLD'  
HARVEST GOLD LINDEN
-  *LAGERSTROEMIA INDICA*  
CREPE MYRTLE
-  *MAGNOLIA VIRGINIANA*  
SWEETBAY MAGNOLIA
-  *CARPINUS BETULUS* 'FASTIGIATA'  
HORNBEEAM
-  *ILEX CRENATA* 'GREEN LUSTRE'  
GREEN LUSTRE HOLLY
-  *ILEX VERTICILLATA*  
WINTERBERRY
-  *EUNYMUS ALATUS* 'COMPACTA'  
BURNING BUSH
-  *JUNIPERUS CONFERNA*  
BLUE PACIFIC JUNPER  
(GROUND COVER)
-  *NANDINA DOMESTICA*  
NANDINA
-  *ILEX GLABRA* 'SHAMROCK'  
INBERRY
-  PARKING LOT LIGHT LOCATION







## Specifications

<b>Material</b>	Resin	<b>Actual Interior Length (Feet)</b>	6.9
<b>Series</b>	Roughneck	<b>Actual Interior Peak Height (Feet)</b>	8
<b>Style</b>	Gable	<b>Foundation Width (Feet)</b>	7
<b>Actual Exterior Width (Feet)</b>	7	<b>Foundation Length (Feet)</b>	7.2
<b>Actual Exterior Length (Feet)</b>	7.2	<b>Package Width (Inches)</b>	45.4
<b>Actual Exterior Peak Height (Feet)</b>	8.6	<b>Package Length (Inches)</b>	90.8
<b>Door Opening Width (Inches)</b>	60	<b>Package Height (Inches)</b>	22.8
<b>Door Opening Height (Inches)</b>	70.5	<b>Package Weight (lbs.)</b>	351
<b>Storage Capacity (Sq. Feet)</b>	46	<b>Storage Capacity Range (Sq. Ft.)</b>	37 to 100
<b>Floor Storage Capacity (Cu. Feet)</b>	332	<b>Common Exterior Length (Feet)</b>	7
<b>Installation Included</b>	X	<b>Common Exterior Width (Feet)</b>	7
<b>Siding Color</b>	Faint Maple	<b>Common Size Range</b>	6 ft x 7 ft to 10 ft x 10 ft
<b>Color/Finish Family</b>	Brown	<b>Shed Floor Included</b>	✓
<b>Trim Color</b>	Onyx	<b>Number of Windows</b>	3
<b>Warranty</b>	10-year limited	<b>Number of Shelves</b>	0
<b>Actual Interior Width (Feet)</b>	6.7		



Photo Location # 1



Photo Location #2



Photo Location #3



Photo Location #4



Photo Location #5



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for fence installation at 720 William Street

---

### ISSUE

Will Dickinson requests to install an eight foot fence on the side and rear property lines of this residential property.

### RECOMMENDATION

Approval of the Certificate of Appropriateness on condition that the fence height at the side property line is amended to meet zoning standards.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Site Planning – Fences and Walls (Historic District Handbook, pg.71-72)*

#### Maintenance and Repair

3. Keep wood fences well painted and match the existing design when replacing component parts.

#### Construction Guidelines

1. Fence and wall materials and design should relate to those found in the neighborhood.
2. Old fencing should be removed before a new fence is installed.
3. Fences between adjoining commercial and residential areas should be of a design that relates to the residential area.

### BACKGROUND

The structure at 720 William Street was constructed c.1893 by noted local architect and builder Frank P. Stearns and is an excellent example of the Queen Anne Victorian architectural style. The two-and-one-half story, four-bay, wood-framed residence rests on a brick foundation and is sheathed in weatherboard. Character-defining features include a two-story projecting bay with front-gabled roof, sawtooth-shingled gable end, elaborately carved bargeboard with sunburst motif, and a complex roof form including hipped, gabled, and gambrel sections. The property has been in active use since the mid-18<sup>th</sup> century, when it was part of the Fielding Lewis farm, with members of the Lewis/Stearns family living on site for approximately 150 years. Though not contiguous with the remainder of the district, the property was added as an individual contributing site to the Historic Fredericksburg District in 1996.

The applicant proposes to construct an eight-foot wood fence along the full length of the rear/south property line and along a portion of the west side property line. The vertical board fence will be painted

and will include horizontal caps at the top of the fence and on the posts. Placement on the rear and side property lines is generally in accordance with development standards; however, the fence may not extend forward of the front of the house at eight feet in height. The applicant has agreed to reduce the height of the portion that projects into the front yard to six feet. The style and placement of the fence is in accordance with Historic District standards and will not have an adverse impact on the historic significance of the property. Approval of the request is recommended on condition that the height at the side property line is amended to meet zoning standards.

### **APPROVAL CRITERIA**

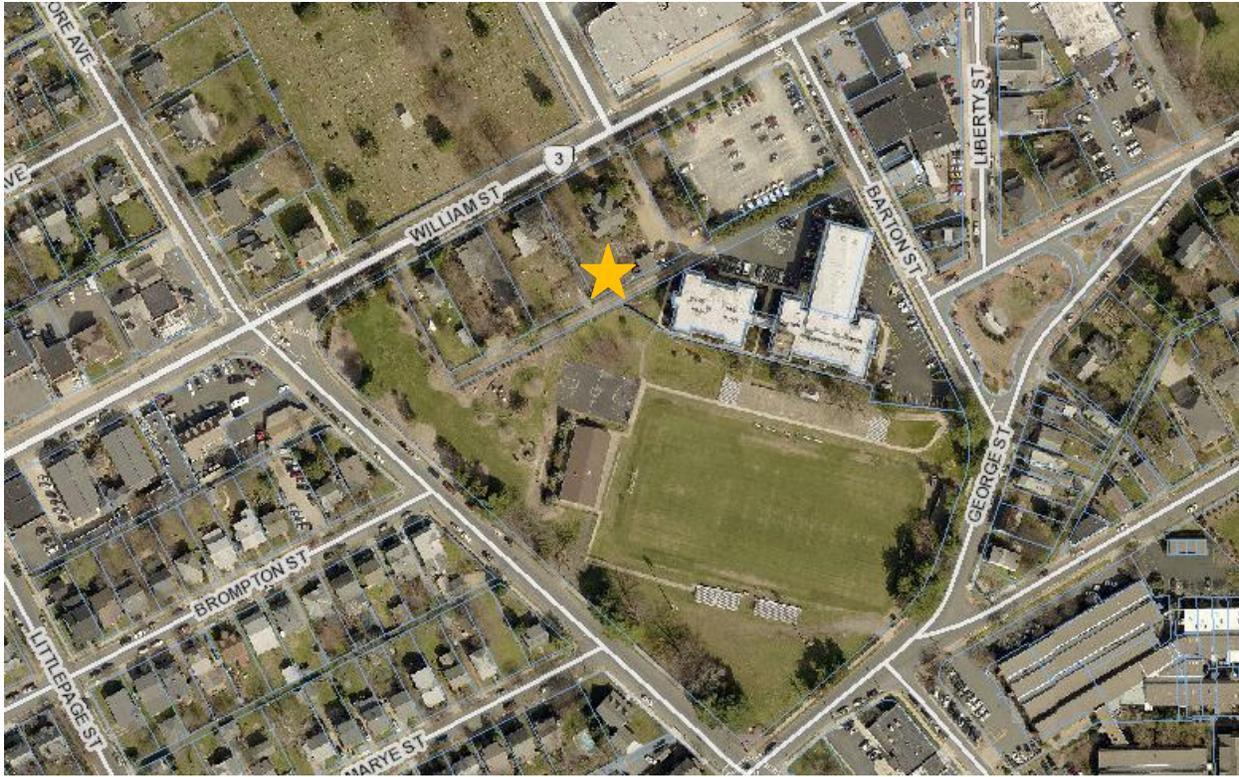
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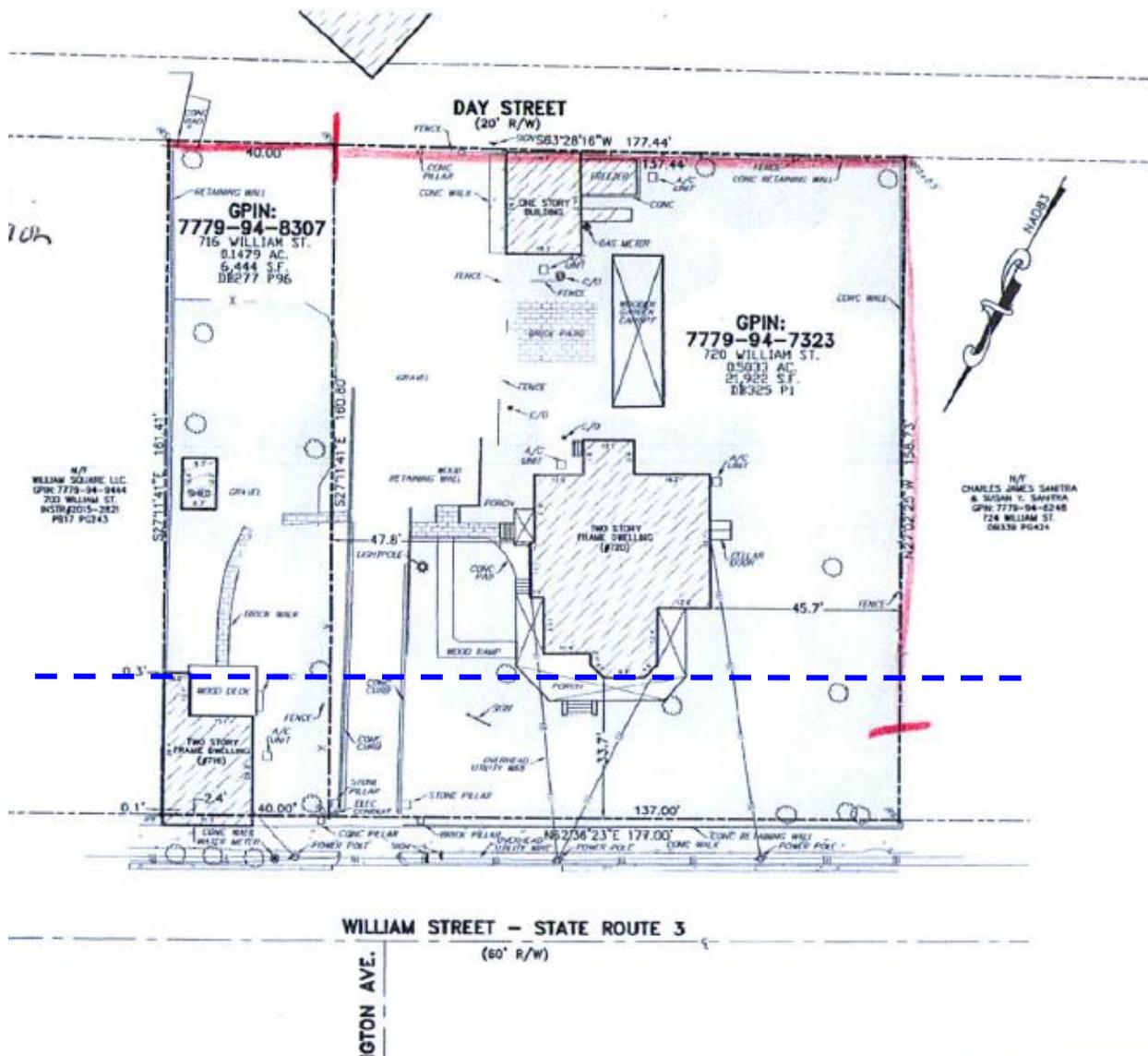
1. Aerial photograph and front elevation view
2. Plat, showing fence location
3. Photograph, proposed fence design



AERIAL

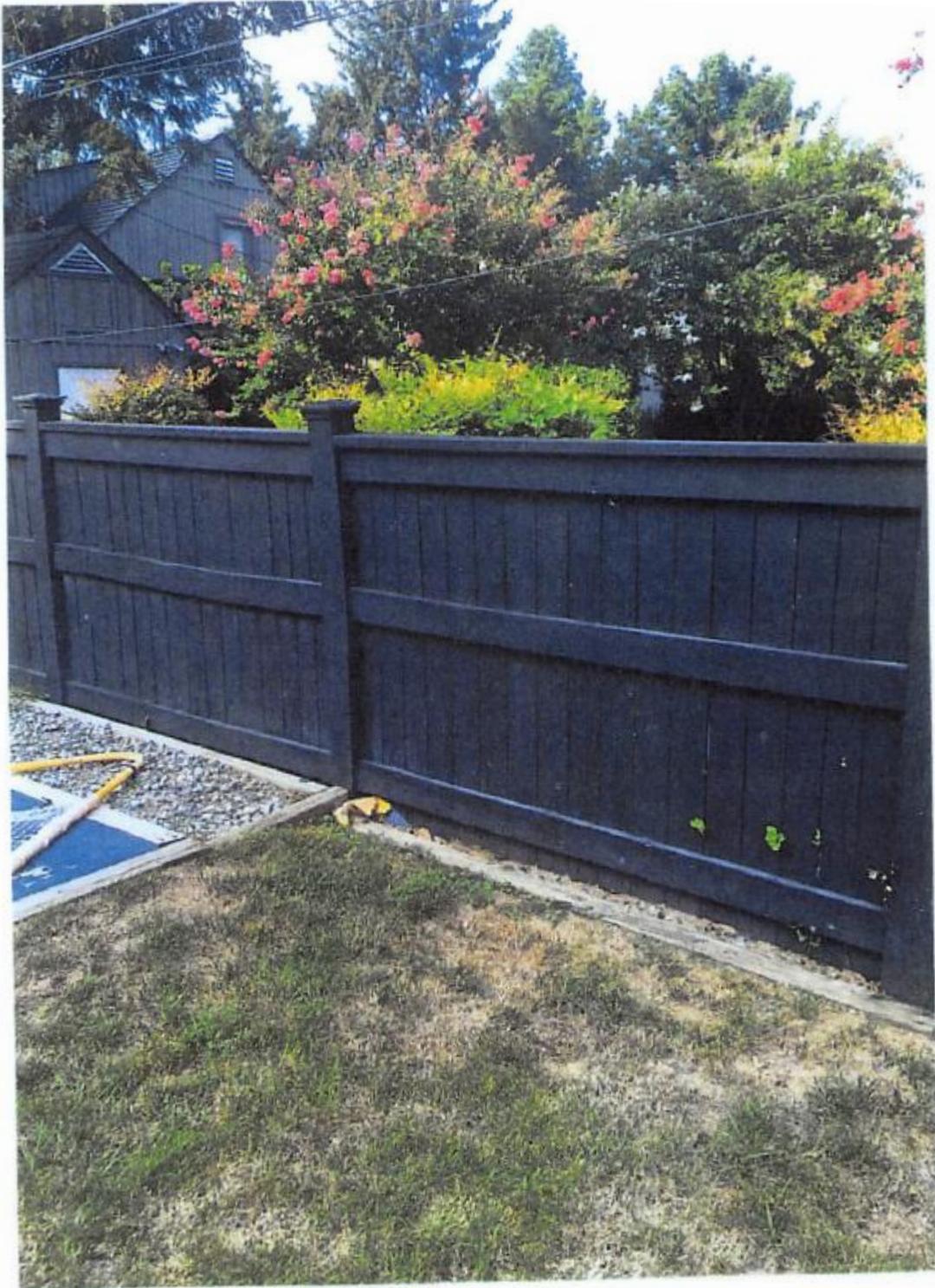


FRONT (NORTH) ELEVATION



Red line indicates proposed fence location.

Blue dashed line indicates front building wall. Any fence located closer to William Street than this line is limited to six feet in height.



Proposed Fence Design



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for fence installation in Old Mill Park

---

### ISSUE

Luke Klinefelter requests to install a three foot ten inch tall split rail fence around the Bridgewater Mills site in Old Mill Park.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted on condition that the site is monitored for archaeological deposits during installation.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Site Planning – Fences and Walls (Historic District Handbook, pg.71-72)*

Maintenance and Repair

3. Keep wood fences well painted and match the existing design when replacing component parts.

Construction Guidelines

1. Fence and wall materials and design should relate to those found in the neighborhood.
2. Old fencing should be removed before a new fence is installed.
3. Fences between adjoining commercial and residential areas should be of a design that relates to the residential area.

### BACKGROUND

Originally constructed c.1822, Bridgewater Mills was damaged by fire and rebuilt c.1858, and continually expanded throughout its use. By the late 19<sup>th</sup> century, the mill could produce approximately 160 barrels of flour and 400 bushels of meal per day, and consisted of a string of buildings including a flour mill, corn mill, warehouse, and grain elevator. The mill was closed in 1912 and used by the Rappahannock Electric Light and Power Company to house equipment. All that remains of the former mill are the foundations, located in the City's Old Mill Park, south of the Falmouth Bridge. Bridgewater Mills is a contributing site in the Old Mill Historic District component of the Historic Fredericksburg District.

Luke Klinefelter proposes to construct a wood split-rail fence, three feet ten inches in height, around the historic mill site. The fence will surround three sides of the site, extending into heavy underbrush on the north/rear side of the site. The fence will be offset from the mill ruins by ten feet on all sides. The fence posts will be buried to a depth of one foot ten inches, with the corner posts and every fourth post set in a

concrete footer. The other posts will be packed in earth. The applicant is working with the City’s Parks and Recreation Department to construct the fence as an Eagle Scout project.

The fence style and materials are appropriate for use in the Historic District and will not have an adverse impact on the historic significance of the site. The fence will help to preserve the site by keeping visitors from causing additional deterioration; the fence may additionally prevent visitors from injuring themselves. Approval of the proposed fence is recommended on condition that the site is monitored for archaeological deposits during installation.

**APPROVAL CRITERIA**

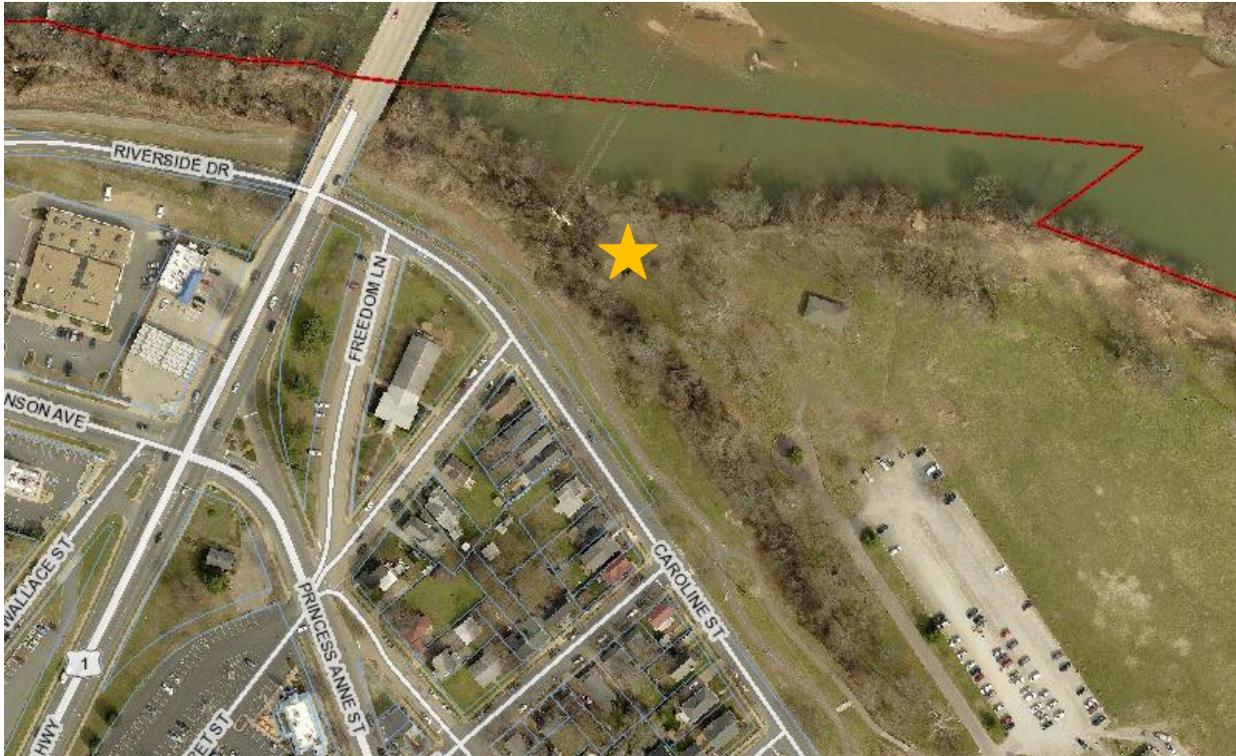
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies</b>	<b>D – does not satisfy</b>	<b>NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.		
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.		
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.		
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.		
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.		
		X	(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.		
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.		

X			(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Letter from Applicant
3. Site Photographs
4. Map, Project Location
5. Fence Specifications
6. Fence Location Diagram



AERIAL



View of Bridgewater Mills Site, Looking North

## **Bridgewater Mills Eagle Scout Project**

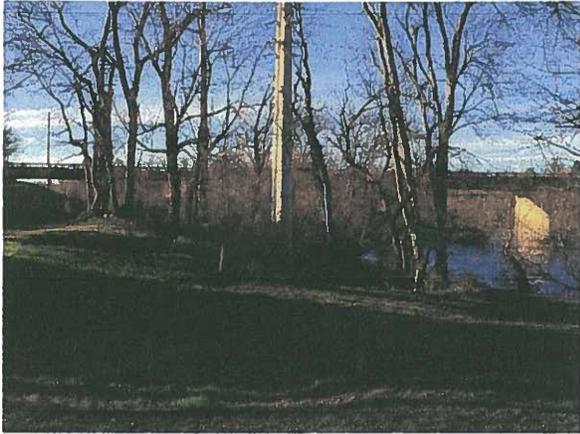
My name is Luke Klinefelter and I am with Boy Scout Troop 1717 in Hartwood, VA. I am currently working with Mike Ward and Fredericksburg Parks and Rec. to complete my Eagle Scout project. They have asked me to install a wood split rail fence around the remaining stone foundation of the Bridgewater Mills site at Old Mill Park in Fredericksburg. The existing wire fence has fallen apart and they would like the public to be able to look at the site but not touch it. The fence would keep people safe and out of the historic mill site. It would also protect the mill site from damage and draw more attention to it so people know it is there. I want to make sure that none of the existing mill is disturbed or damaged by putting in the new fence so I ask for your help and assistance.

Thank you for your help and consideration!

Luke J. Klinefelter

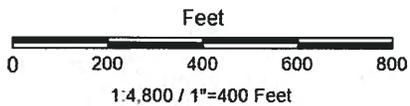


**Photos of the Bridgewater Mills Site**



## Legend

-  City Boundary
-  WVS\_Centerlines Back (12,000)
- Interstate
- US Highway
- VA Primary
- Others
-  WVS\_Centerlines Back (12,000)
-  Interstate
-  US Highway
-  VA Primary
-  Others
-  Parcels



Title:

Date: 9/23/2016

DISCLAIMER: All information depicted on this map shall be treated as confidential information and shall only be used for the sole purpose for which it was provided. Any other use of this map, or the information included thereon, is strictly prohibited. The data shown on this map is for information purposes only and shall not be relied upon for the specific location of map features. The City of Fredericksburg makes no representation or warranty as to the accuracy of the map, or the information shown thereon. This map may not be copied or otherwise made available to any other party in paper or electronic format without written consent from the City of Fredericksburg.

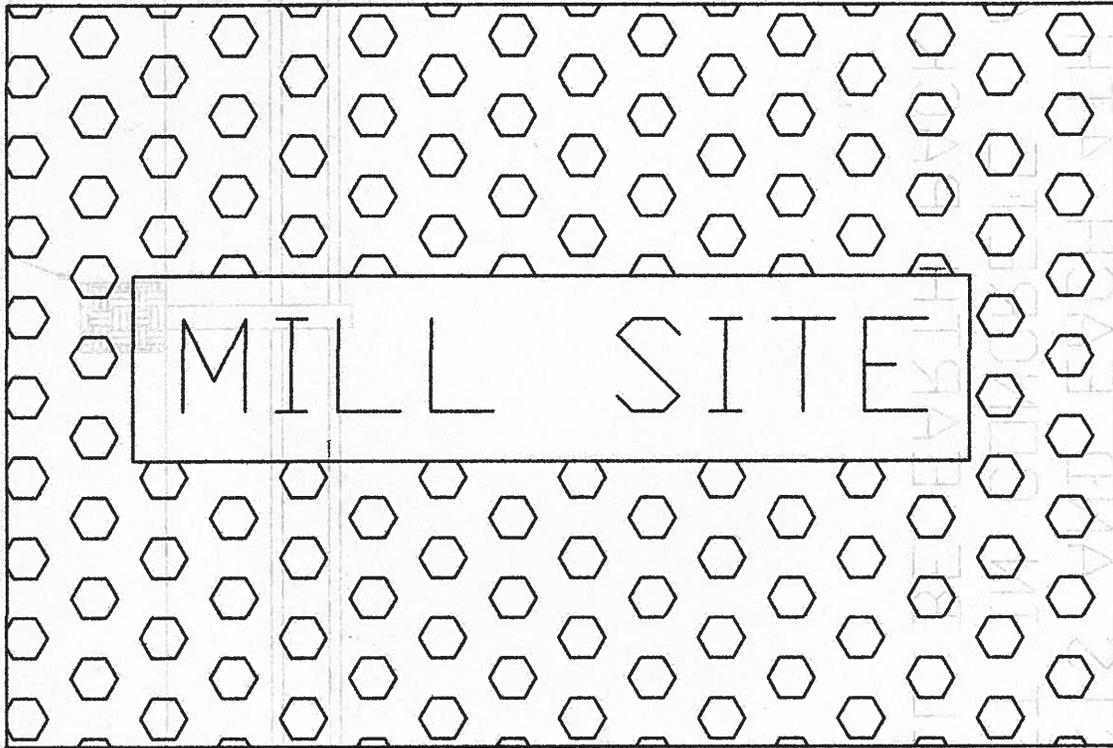
Google Maps



Imagery ©2016 Google, Map data ©2016 Google 50 ft

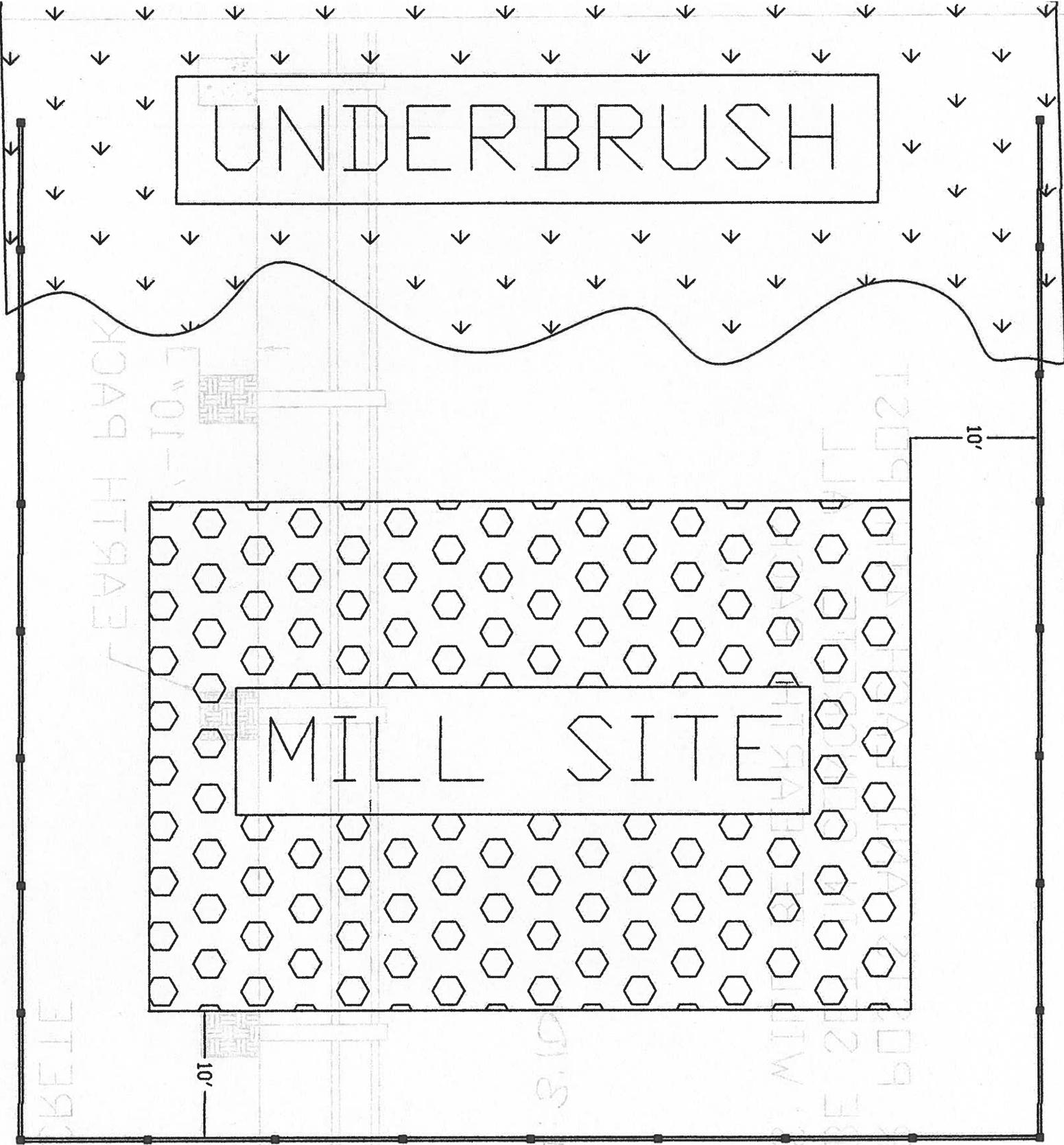
UNDERBRUSH

MILL SITE



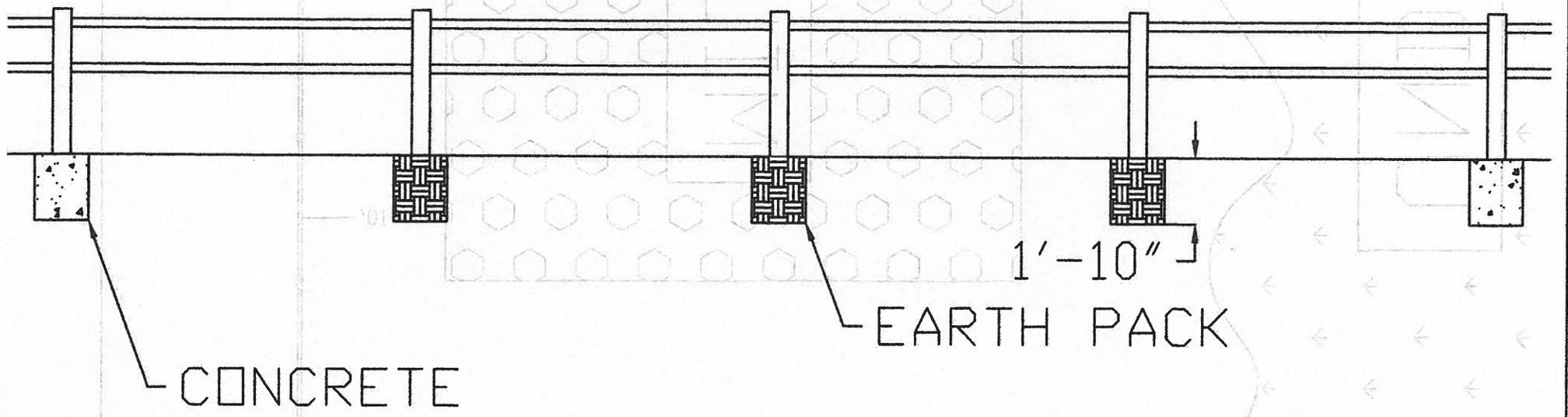
10'

10'



CORNER POSTS AND EACH 4TH POST  
WILL BE SET IN CONCRETE. ALL  
OTHERS WILL BE EARTH PACK.

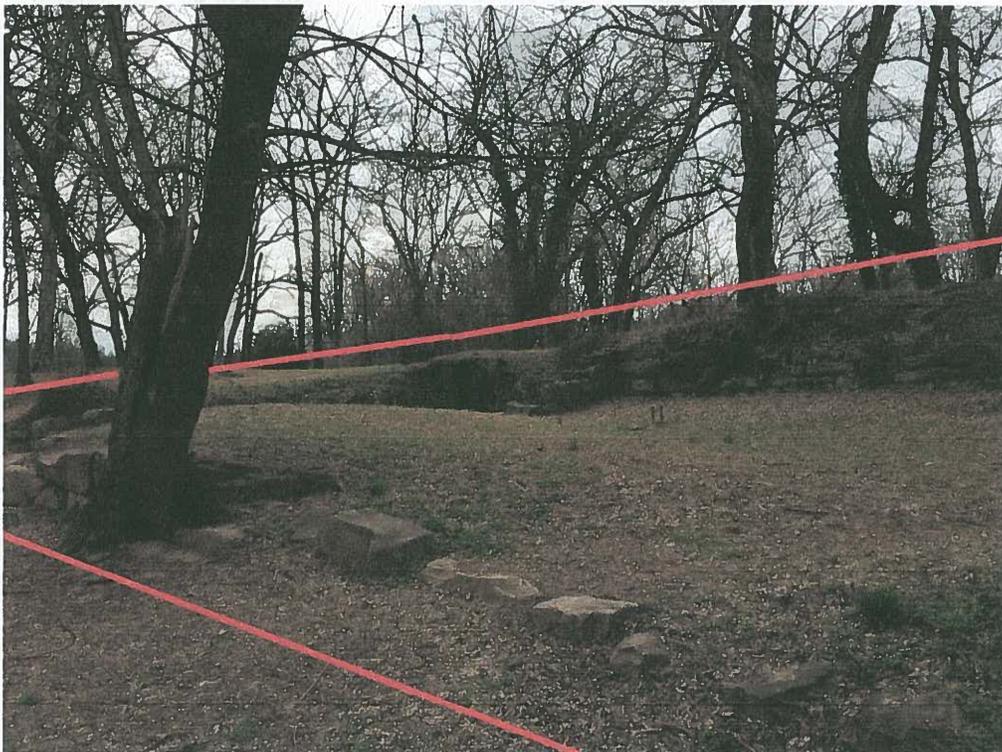
Fence Height: 3' 10"



**Fence Placement**



**Upper View**



**Lower View**



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 7 Lafayette Station

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### ISSUE

Debra Simpson requests to replace siding on the front and rear elevations and replace seven windows on this townhome.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Standard 6.* Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*Windows (Historic District Handbook, pg. 82)*

#### Maintenance and Repair

1. Retain original windows.
5. Windows should only be replaced when they are missing or beyond repair. Replacement should be based on physical evidence and photo documentation rather than the availability of stock windows or windows from other buildings. Avoid changing the physical and visual characteristics of windows by using inappropriate materials or finishes that alter the sash, depth of reveal, muntin configuration, glazing, or appearance of the frame.
7. Avoid changing the number, location, size, or glazing pattern of a building's windows by cutting new openings, enlarging existing openings, blocking in windows, or installing replacement sash that does not fit the window opening.
10. Avoid trying to make a building look older than it is by installing windows that are from an earlier period of construction.

### BACKGROUND

This property is part of a townhouse development constructed c.1986 adjacent to Lafayette Boulevard. The two-story gable-roofed townhome features Colonial Revival details, with veneered brick side elevations and beaded masonite siding on the front and rear elevations. There are a variety of vinyl

window sizes and styles on the home, many framed by vinyl louvered shutters. This is a noncontributing structure in the Historic District and is minimally visible from the public right-of-way.

The applicant proposes to replace the masonite siding on the front and rear elevations and replace seven windows. The beaded masonite siding is original to the property, but is heavily deteriorated. The applicant proposes to install new smooth-finish Hardie Plank siding with a beaded edge and 7-inch reveal. Similar fiber cement siding has previously been approved for use on neighboring townhomes. Additionally, the applicant proposes to replace seven original one-over-one double-hung vinyl windows with new double-hung vinyl windows to match. The replacement windows will be Lansing Series 40 double-hung one-over-one windows. Vinyl windows are not typically recommended for use in the Historic District; however, they are original to this property and therefore appropriate as a replacement material. Rotted wood trim at the fascia, soffits, and window frames will be replaced with wood in kind and wrapped with aluminum coil. The proposed alterations are in keeping with the original materials and design of this noncontributing structure and approval as submitted is recommended.

**APPROVAL CRITERIA**

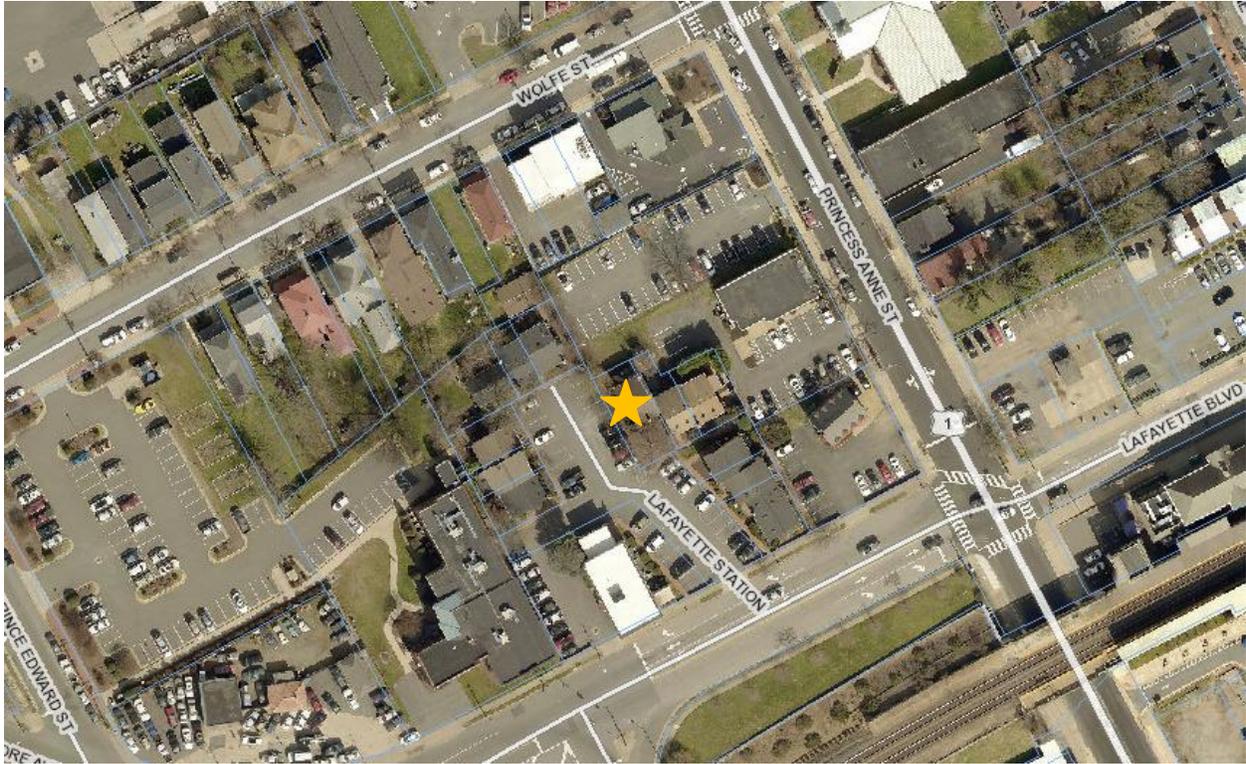
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior’s Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
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			conjectural designs or the availability of different architectural elements from other buildings or structures.
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X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Property Photographs
3. Specifications from Applicant
4. Replacement Window Information



AERIAL



FRONT (WEST) ELEVATION



Front elevation

Masonite siding to be replaced with smooth-finish Hardie Plank with beaded profile and 7-inch reveal.



Windows to be replaced circled in red. One additional window to be replaced is located on the north side elevation. This elevation is not visible from public right-of-way.

## **CERTIFICATE OF APPROPRIATENESS**

**Date: September 21, 2016**

**Submitted by Seven Graces, LLC**

**Property Owners: Debra A. Simpson and Paul A. Simpson**

**One for one siding replacement with Hardie Plank,**

**Beaded, smooth, 8.25 in. with 7 inch reveal**

**Color: Heather Moss**

**Trim: Hardie "Arctic White"**

**Seven original windows replaced to match the present vinyl ones.**

**Replace all rotted wood as needed.**

**Wrap all windows with aluminum metal (Arctic White).**



## Series 40 Double Hung

(Series 40 2 and 3 lite sliders also available)

- Reinforced, multicavity construction provides additional thermal performance and structural integrity.
- Fusion-welded sashes and frame add strength, boost thermal performance.
- Insulated glass panels with optimum thermal air space featuring warm-edge spacer system.
- Constant force coil balance system permits easy sash movement.
- Sloped sill reduces air infiltration and allows for easy water run-off.
- Half screen comes standard.\*
- Positive-action cam lock enhances safety.
- Dual push button night latches provide optimum ventilation.
- Integrated, slim line push rail allows you to easily operate sash.
- Interlocking sashes keep out drafts.
- Dual-fin weather stripping further reduces air infiltration.
- Rubber bulb seal helps block outside air.
- **Transferable Limited Lifetime Warranty.**

### Custom Options:

- **Ultra Low-E / Argon Glass** (may be required for Energy Star rating).
- Low-E Glass and Argon Gas for additional efficiency.
- Low-E Glass.
- 5/8" or 3/4" flat, 5/8" or 1" contoured, 5/8" contoured valance grids available.
- 8 painted exterior colors (white interior only)
- Factory mulling of twins, triples and architectural shapes.
- Charcoal aluminum mesh screen.
- Lifetime Glass Breakage Warranty.



SCAN TO  
WATCH A VIDEO  
ABOUT OUR  
SERIES 40



All products may be ordered to meet Energy Star requirements.

### Color Options\*\*



Note: Manufacturer reserves the right to substitute components as necessary for continued product improvement.  
\* Screens are not meant to restrain a child from falling through an open window.

\*\* Printing process may affect color shown. Please refer to actual window sample when selecting colors.

\*\*\* Grid offering limited to 5/8" contoured or SDL on exterior painted windows.  
Only use mild, water based household cleaner on painted product and rinse immediately with water. See full cleaning instructions for details.

SCAN AND  
EXPERIENCE  
OUR WEBSITE





## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 201-203 William Street

---

### ISSUE

Dan Hebron requests approval for exterior alterations to this commercial building including replacement of the corner entry door and installation of new gutters and downspouts.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Standard 2.* The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.

*Storefronts (Historic District Handbook, pg. 92)*

#### Maintenance and Repair

1. Retain and repair all elements, materials, and features that are original to the storefront or are sensitive remodelings.
2. Consider restoring any original window opening that has been covered, filled in, or altered.

#### Construction Guidelines

1. If feasible, return a storefront to its original configuration by restoring as many original elements as possible, including windows, cornice, and decorative details. This work should be based on pictorial research and exploratory demolition that has determined the original storefront design and condition. If reconstruction is not possible, any new storefront design should respect the character, materials, and design of the building.

### BACKGROUND

The building at 201-203 William Street was originally constructed as two separate structures. The corner portion at 201 William was built c.1822 and is two-and-one-half stories in height, constructed of brick laid in Flemish bond, topped by a slate-clad front-gabled roof. The building at 203 William was constructed c.1825, also constructed of brick laid in Flemish bond, topped by a slate-clad side-gabled roof. The second structure is also two-and-one-half stories in height, though the story heights are shorter and the overall building height is shorter than the corner structure. The corner structure was originally built as Hall's Apothecary by John B. Hall. The second building was used as a grocery store, then a "tinner's shop" before reverting to a grocery store once again. Dr. W.L. Bond opened Bond's Drug Store

on site in 1907, eventually demolishing the walls between the two structures to create a single continuous space.

The store became affiliated with the Rexall drug chain c.1946, and was known as Bond’s Rexall Drugs. At this time, the front door and two windows on the first floor of the 203 building were removed, with the current display window installed later. A number of businesses were housed in the property between 1967 and the present, with “Cards and Cones” as the most recent. The location and detailing of the second-story windows and gable-end attic window appear unchanged, though the four-foot brick infill section between the two structures once had windows on the first and second floors. Early 20<sup>th</sup>-century photos show two-over-two windows on the upper floor of the corner structure; the current windows are six-over-six wood windows.

The first-floor storefront has been significantly altered. Early photos, dating to the early 20<sup>th</sup> century after the conversion to Bond’s Drug Store, show arched windows and doors on the ground floor aligning with the upper-story windows. An Italianate cornice divided the first and second floors on the William Street elevation. Based on pictorial evidence, the corner entry was most likely installed between 1946 and 1950, corresponding with the conversion to Bond’s Rexall Drugs. A c.1950 image shows the corner entry and plate glass display windows. The Colonial Revival storefront details, including cornice, multi-light fixed windows, shutters, and trim appear to have been installed sometime after the 1950 image, but before the establishment of Fredericksburg’s Historic District in 1972. The building is a contributing structure in Fredericksburg’s Historic District.

In May and June, the ARB considered and approved an application for several exterior alterations to this building, including alterations to doors and windows on the ground floor. The applicant is returning with an alternate proposal for the corner entry door. The previous application included replacement of the aluminum double entry doors at the corner with a single wood door, sidelights, and transom. The applicant now proposes to replace the aluminum doors with paired glazed wood doors with multi-light sidelights and transom. The new doors will match the footprint and dimensions of the existing doors. Additionally, all gutters and downspouts will be replaced with new elements in the same style and painted to match the structure to ensure proper drainage. The proposed alterations are in keeping with the Historic District standards and will not have an adverse impact on the historic significance of the building. Approval of the request as submitted is recommended.

**APPROVAL CRITERIA**

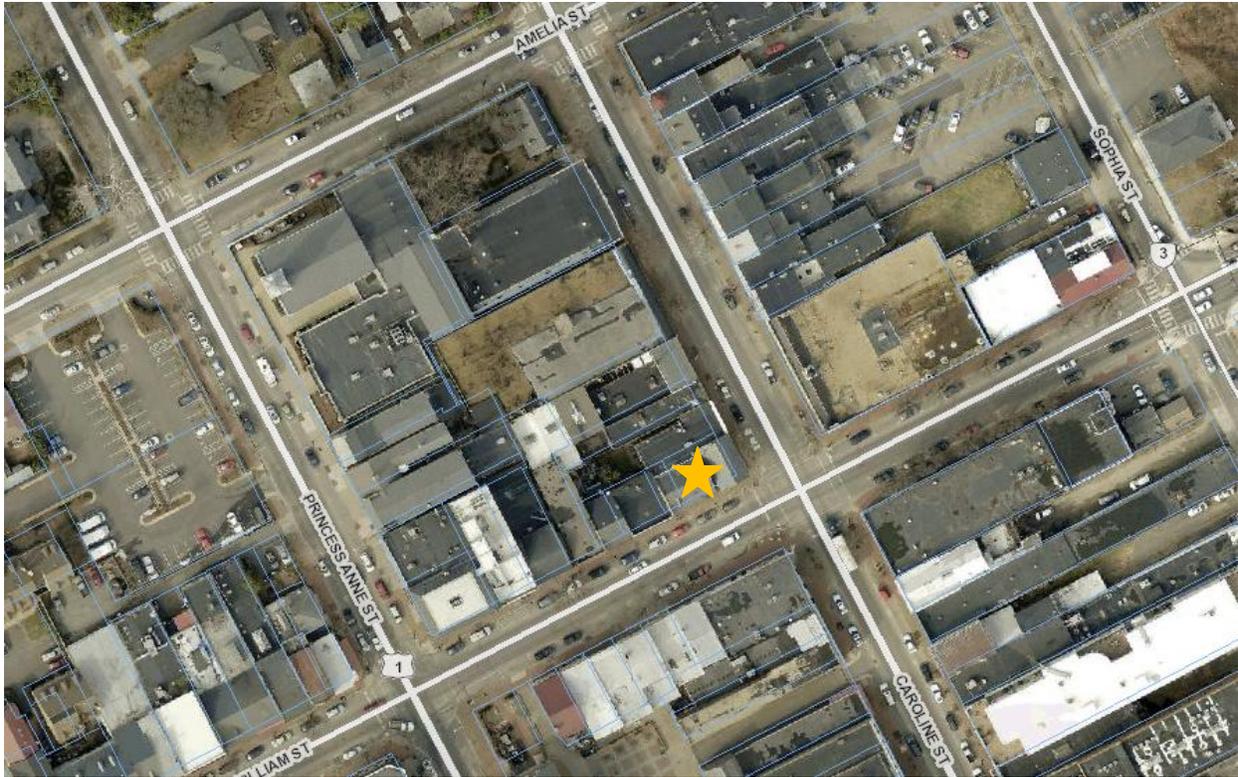
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X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

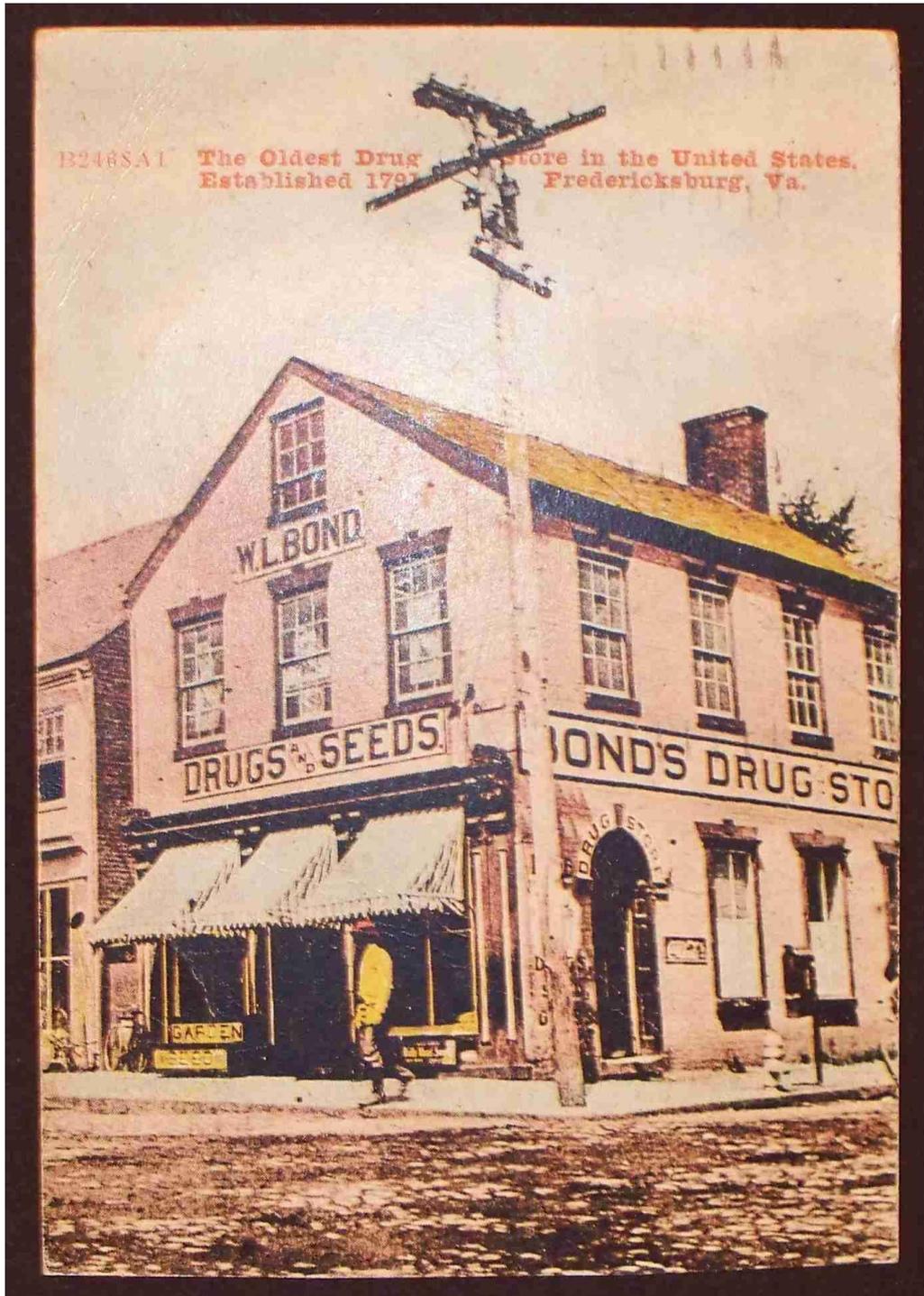
1. Aerial photograph and front elevation view
2. Postcard, c.1907, Bond's Drug Store
3. Photograph, c.1924, Bond's Drug Store at the corner of Main (Caroline) and Commerce (William) Streets and Photograph, c.1950, Bond Rexall Drugs
4. Design Plans provided by applicant



AERIAL



FRONT (SOUTH) ELEVATION



**Postcard, c.1907**

Featuring Bond's Drug Store

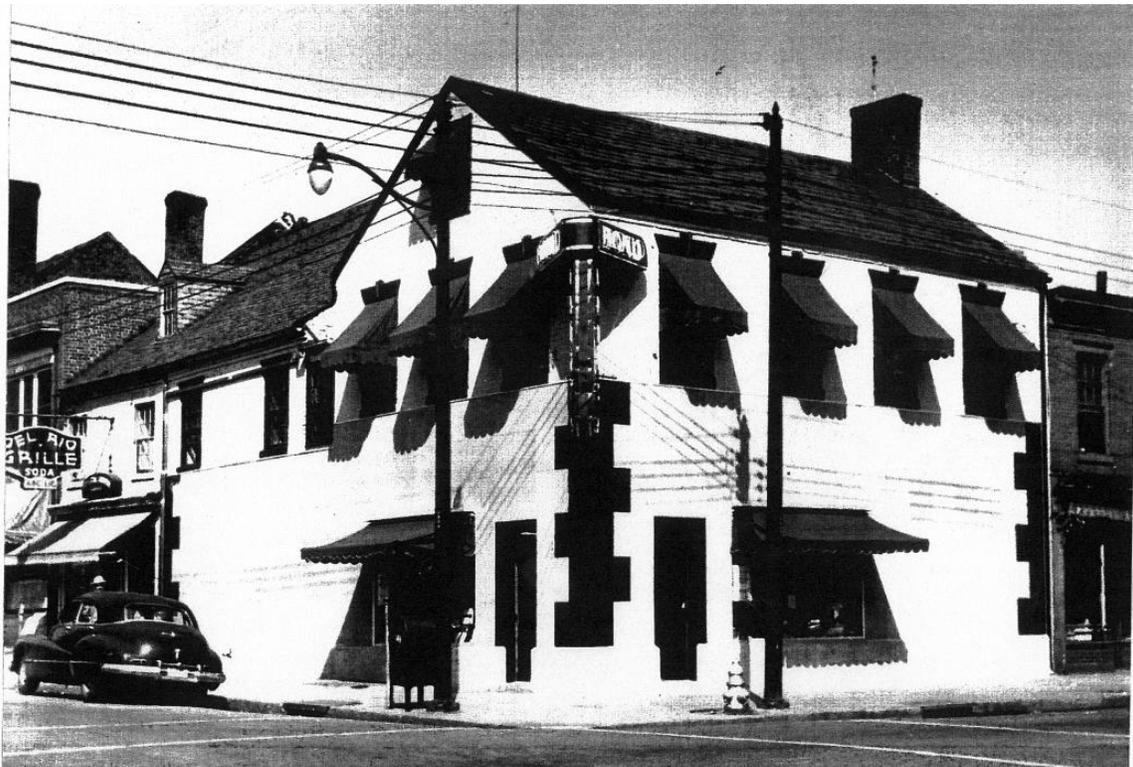
Note the gap between the two structures at 201 and 203 William Street.



**Bond's Drug Store, c.1924**

Image courtesy of Valentine Museum

Note that the gap between 201 and 203 William has been filled and windows appear in this location. Also note the entry door and window configuration on the 203 William building.



**Bond Rexall Drugs, c.1950**

Image courtesy Fredericksburg Area Museum and Cultural Center

Note the corner entry, reconfiguration of ground floor windows, and removal of the 203 William entry.

**VIRGINIA MAIN STREET:** This community is a designated Virginia Main Street Community and as such these drawings are provided at no charge to the property owner. The Virginia Main Street program is sponsored through the Virginia Department of Housing and Community Development.

**SCHEMATIC DESIGN:** This drawing is conceptual and is not a working drawing for construction. The notes are intended as guidelines for rehabilitation. Any changes to the conceptual design should be reviewed and approved by the Main Street Designer and the local Program Manager. Some aspects of the design may require further drawings prior to construction. Field check any dimensions shown on this drawing. It is the responsibility of the owner and contractor to acquire additional technical or professional assistance as needed before or during construction.

**ADA GUIDELINES:** Ensure that all entrances meet the ADA Guidelines. It is the owner's responsibility to ensure that the entire building meets the ADA Guidelines. While change-of-use will not activate ADA, alterations to the space will. In addition, barriers must be removed when readily achievable.

**REHABILITATION GUIDELINES:** For information on materials and methods used for rehabilitating historic buildings, see the Design Manual located at the office of the local Main Street Program Manager. Questions regarding rehabilitation methods should be addressed to the Virginia Main Street Architect.

**STATE AND FEDERAL HISTORIC TAX CREDIT PROJECTS:** If a project will be submitted for rehabilitation tax credits, submit all required forms and secure any and all approval from state and federal agencies for proposed work prior to beginning any construction. Contact the Virginia Department of Historic Resources (VDHR) for more information.



**EXISTING ENTRY - CAROLINE ST.**



**EXISTING ENTRY - WILLIAM ST.**

 <p><b>FRAZIER ASSOCIATES</b> ARCHITECTURE • COMMUNITY DESIGN • PLANNING 713 NORTH AUGUSTA STREET, STAUNTON, VA 24401 PHONE 540.896.8230 FAX 540.896.8620 www.frazierassociates.com</p>	 	<p><b>201 William Street</b> Fredericksburg, Virginia</p>	<p>Revised 9/22/2016 86002.D.52</p> <hr/> <p>A.1 SHEET 1 OF 2</p>
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Muntins in transom, optional.

Replace existing metal storefront & double entry doors with new wood storefront & double entry doors to match existing footprint and door sizes.

NEW RECESSED STOREFRONT & ENTRY - CAROLINE ST.



Align muntins of new sidelights with existing wood storefronts.

Align bulkheads of new sidelights with existing wood storefronts.

NEW RECESSED STOREFRONT & ENTRY - WILLIAM & CAROLINE ST.

**FRAZIER ASSOCIATES**  
 ARCHITECTURE • COMMUNITY DESIGN • PLANNING  
 213 NORTH AUGUSTA STREET, STAUNTON, VA 24401  
 PHONE 540.896.8230 FAX 540.896.8620  
 www.frazierassociates.com

VIRGINIA  
**MAIN**  
 Street  
 Fredericksburg  
 Williams  
 Main Street

201 William Street  
 Fredericksburg, Virginia

Revised  
 9/22/2016  
 86002.D.52

A.2  
 SHEET 2 OF 2



## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 1516 Caroline Street

---

### ISSUE

Jason Gallant requests to replace the existing concrete front porch steps with new masonry steps and install a new metal fence gate at the side of this single-family residence.

### RECOMMENDATION

Approval of the Certificate of Appropriateness on condition that the historic concrete wing walls at the porch steps are retained and the new steps are constructed of brick.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Standard 2.* The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.

#### *Exterior Architectural Elements – Porches and Steps (Historic District Handbook, pg. 96)*

##### Maintenance and Repair

5. Avoid removing historic material from porches. In addition, do not add materials that create a different historic appearance.

#### *Materials – Masonry (Historic District Handbook, pg. 101)*

##### Maintenance and Repair

1. Removing or radically changing masonry features will diminish a building's character. Retain masonry features that define this character such as walls, brackets, railings, cornices, window surrounds, pediments, steps, and columns. It is also important to retain mortar joint size and tooling; the size, texture, and pattern of the masonry units; and the color of the masonry.

### BACKGROUND

This Italianate dwelling is one of three constructed on this block c.1898 by E.W. Mills for his children. The two-story, two-bay residence is clad in beveled weatherboard and includes two interior end brick chimneys with corbelled caps. Character-defining features include a two-story projecting bay with canted sides on the front elevation; elaborate cornice with dentils, modillions, and scrolled brackets; Italianate window hoods; and a one-story, one-bay porch supported by Tuscan columns. This is a contributing structure in the Historic District.

The applicant proposes to remove the existing concrete porch steps and wing walls, as well as the brick piers supporting the porch, and construct new brick steps. The earliest Sanborn Fire Insurance map that depicts this structure, from c.1902, shows a one-bay porch on the façade matching the dimensions of the existing porch. Between 1919 and 1927, the porches on all three properties (1512, 1516, and 1518 Caroline) were expanded to be full-width. The porch appears to have been restored to its original configuration between 1963 and 1971, according to aerial photography. It is unclear what porch materials might have been retained and reused during these alterations; however, the concrete steps and wing walls appear to be either original or added at the time of the porch expansion, before 1927. Concrete came into common use for construction during the second half of the 19<sup>th</sup> century, with popularity dramatically increasing after approximately 1890 due to improvements in manufacturing. The visual qualities of the concrete and the form of the wing walls are consistent with historic concrete used for porches and steps in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries.

The concrete steps do show deterioration, including cracking and settling, but this is primarily seen on the steps themselves, rather than the wing walls. They have additionally been altered through the installation of iron handrails at the sides of the steps, inside the wing walls. Due to their condition, replacement of the steps is appropriate; however, the wing walls are a character-defining feature of the main entry and appear to be in good condition. Removal of the wing walls is not recommended. Of the options proposed, the brick steps without the stone cap are more in keeping with the character of the home, as brick is also utilized for the porch piers. The foundation appears to be constructed of brick as well, parged and scored to appear as stone. The applicant also proposes to replace a metal fence gate at the north side of the house with a new decorative iron gate. The existing gate is not historic, and the new gate is an appropriate material and style for the district. Approval of the request is recommended on condition that the historic concrete wing walls at the porch steps are retained and the new steps are constructed of brick.

### **APPROVAL CRITERIA**

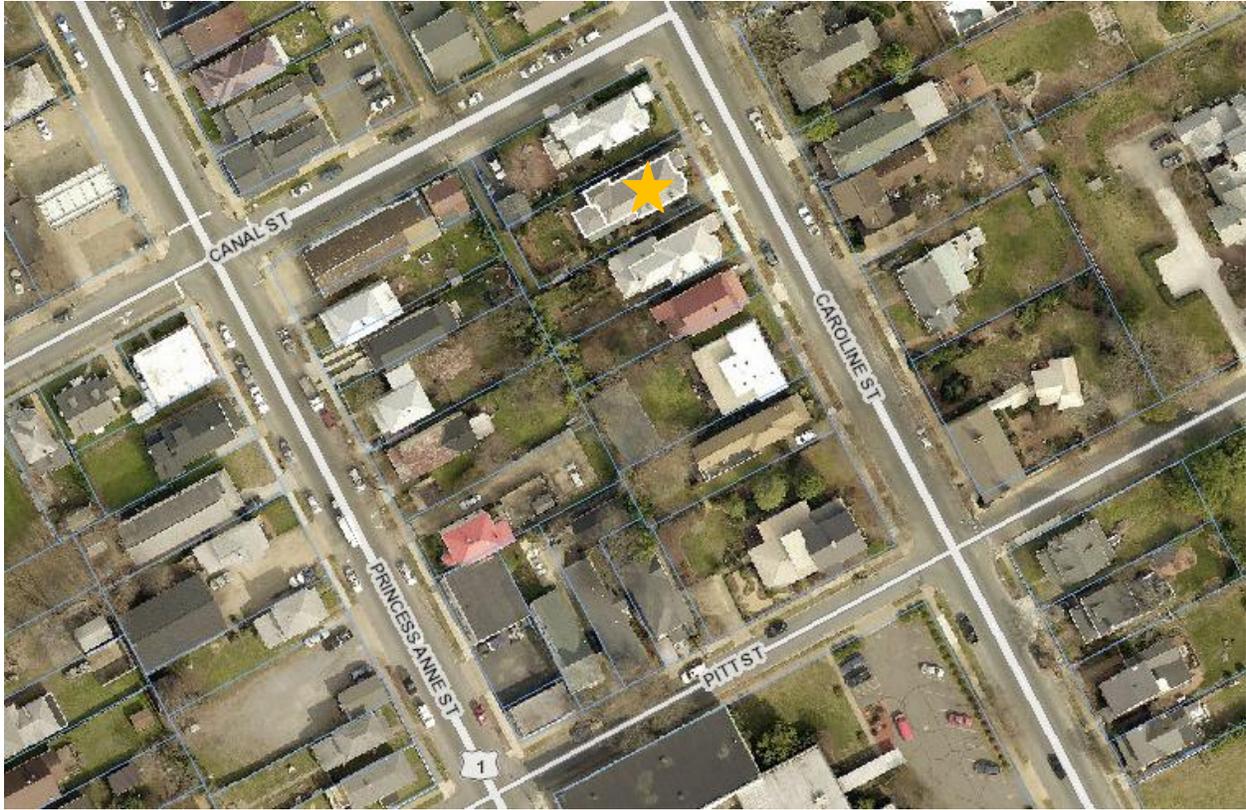
Criteria for evaluating proposed changes are found in City Code § 72-23.1(D)2 and are based on the United States Secretary of the Interior's Standards for Rehabilitation.

<b>S</b>	<b>D</b>	<b>NA</b>	<b>S – satisfies    D – does not satisfy    NA – not applicable</b>
X			(1) Every reasonable effort shall be made to provide a compatible use for a property by requiring minimal alteration of the building, structure, or site and its environment, or by using a property for its originally intended purposes.
X			(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historical material or distinctive architectural features should be avoided when possible.
X			(3) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no basis and which seek to create an earlier appearance shall be discouraged.
X			(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its

			environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
X			(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
X			(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. If replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement of missing architectural features should be based on historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
		X	(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
		X	(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
X			(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## Attachments:

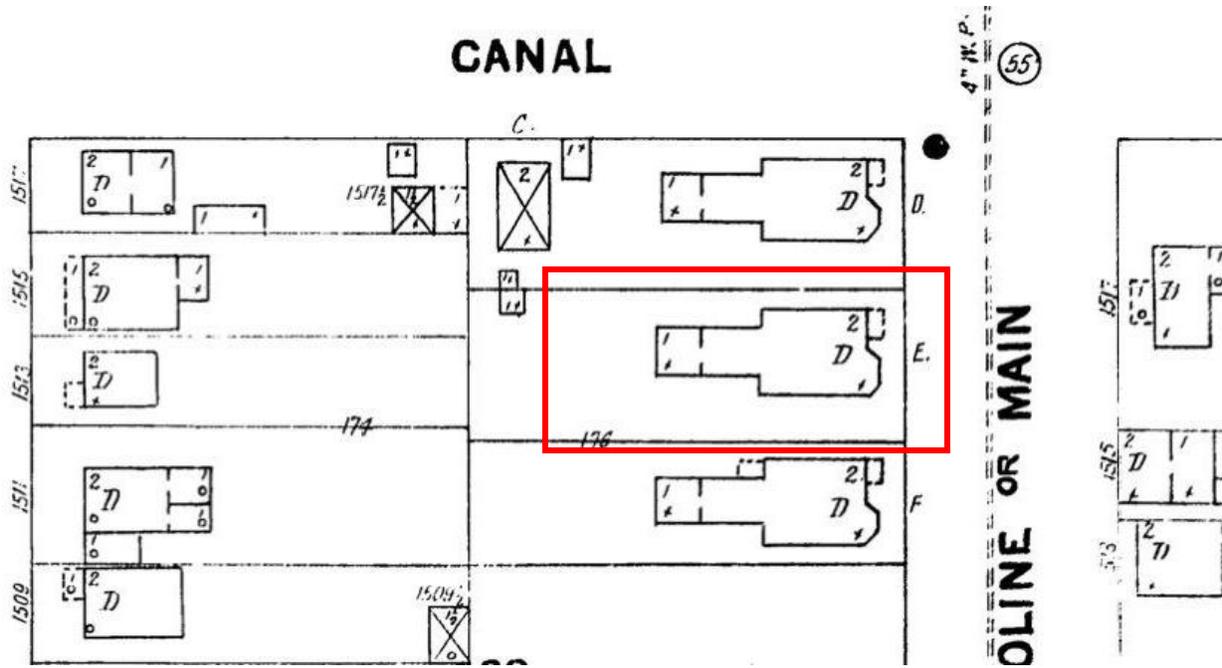
1. Aerial photograph and front elevation view
2. Sanborn Fire Insurance Maps, c.1902 and c.1927
3. Aerial photograph, c.1971
4. Photographs, Porch Steps
5. Examples of Historic Concrete Porch Steps in the District
6. Letter and Specifications from Applicant



AERIAL

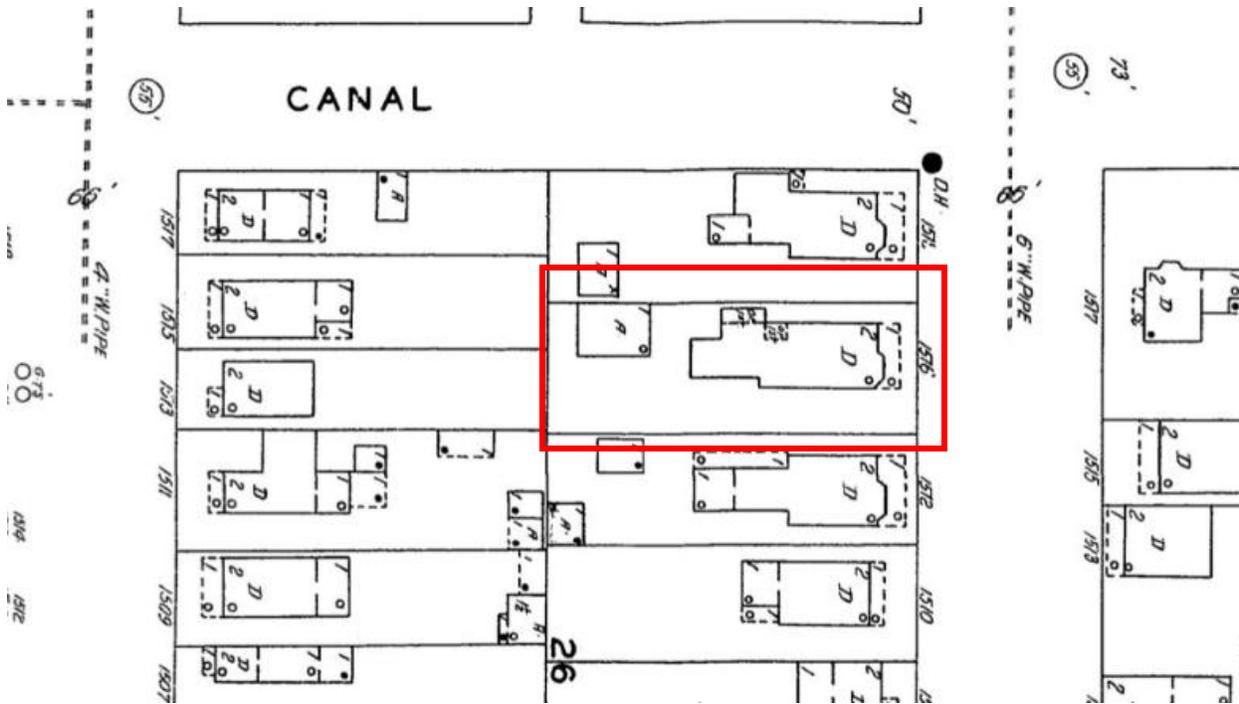


FRONT (EAST) ELEVATION



Sanborn Fire Insurance Map, c.1902

Note the one-bay entry porch.



Sanborn Fire Insurance Map, c.1927

Note the expansion of the front porch to full width.

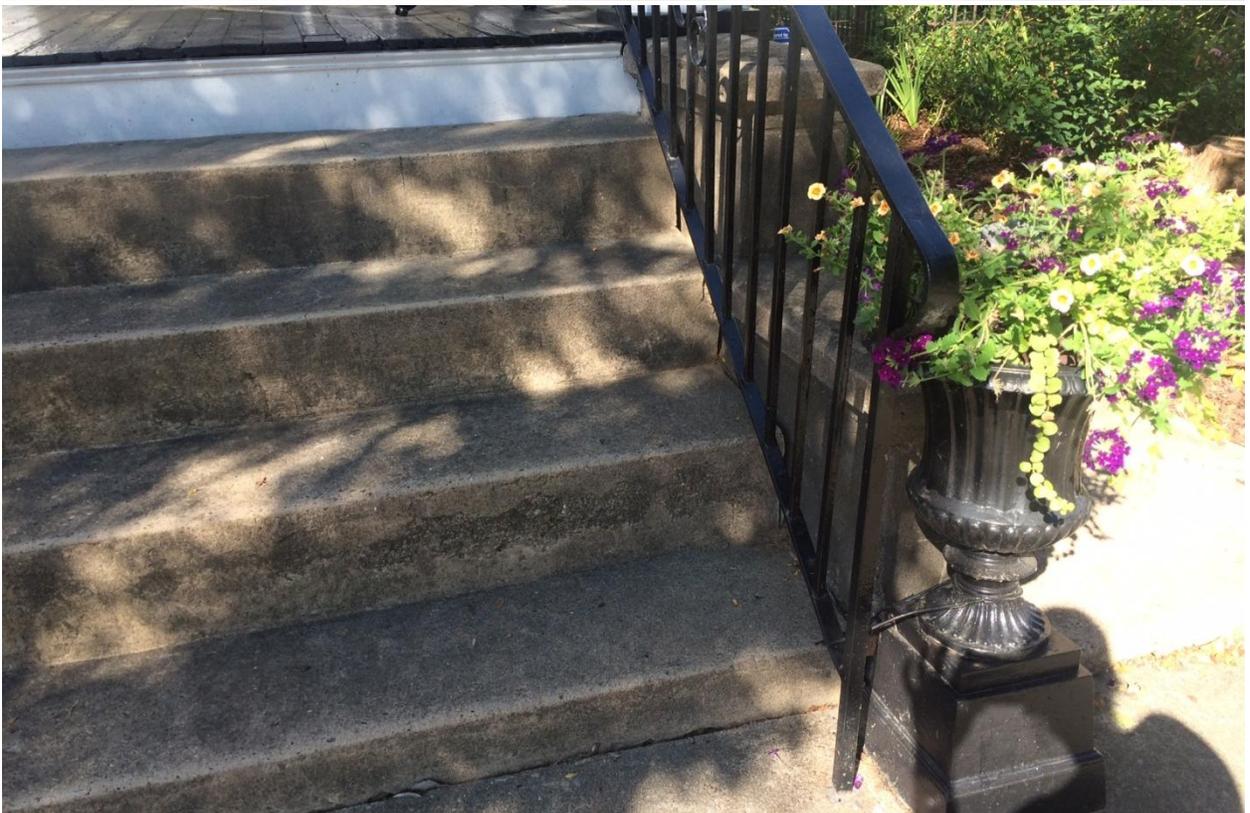


**Aerial Photograph, c.1971**

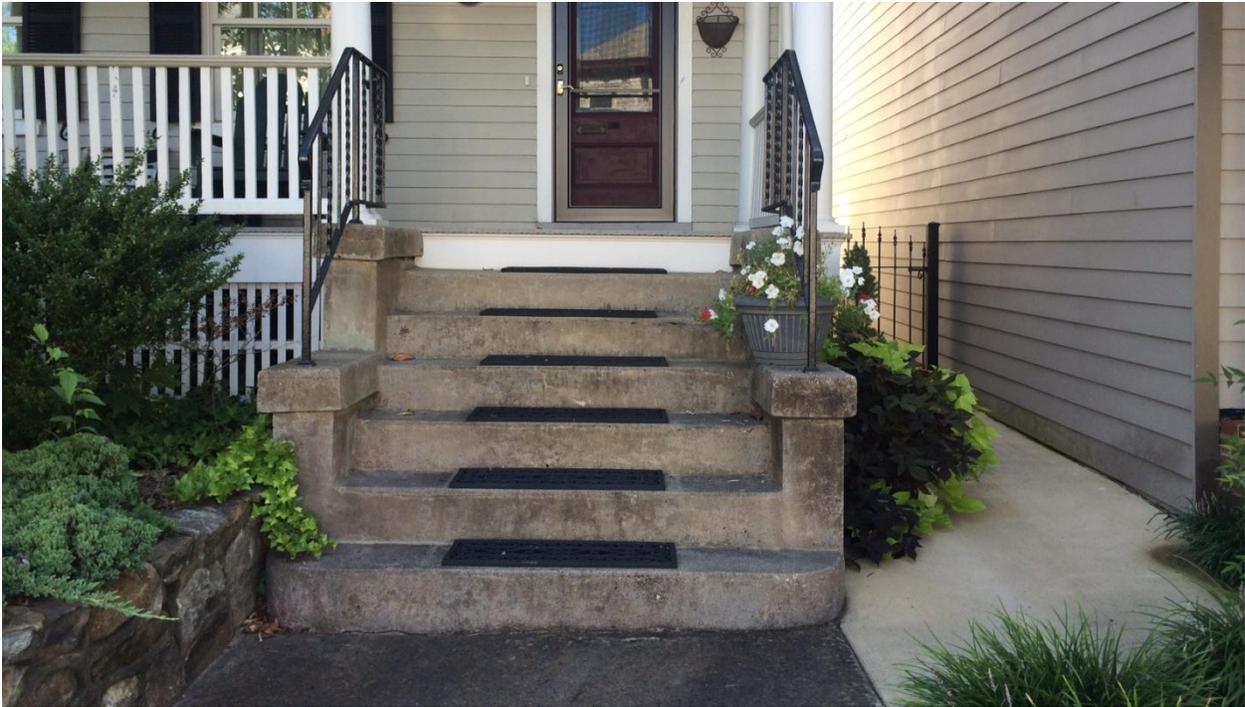
One-bay entry porch appears to have been restored before this photograph was taken.



Concrete Porch Steps and Wing Walls, 1516 Caroline Street



Concrete Porch Steps and Wing Walls, 1516 Caroline Street



Examples of concrete steps on other 19<sup>th</sup> and early 20<sup>th</sup> century residences



Examples of concrete steps on other 19<sup>th</sup> and early 20<sup>th</sup> century residences

Jason Gallant  
Rappahanock Restoration  
7377 Marmion Lane  
Fredericksburg, Virginia 22401  
(540) 220-3856

received  
9/22/16  
OSR

Architectural Review Board  
Community Planning and Building Department  
715 Princess Anne Street  
Fredericksburg, Virginia 22401

22 September 2016

To the members of the Architectural Review Board,

We are working with Susan Ishii, owner of 1516 Caroline Street, to replace her failing concrete porch stairs with new solid masonry brick stairs made from oversized tumble brick. Ms. Ishii is also interested in replacing a twentieth-century fence gate on the north side of the house with an antique metal gate more appropriate to the age and style of the house.

As a reference for the stair replacement we are including a photograph of the house at 528 Caroline Street, identical to Mrs. Ishii's residence at 1516 Caroline Street, with recently re-built brick stairs. Mrs. Ishii would like her new stairs to match the stairs pictured here.

Included here are drawings showing two potential designs for new stairs finished in brick or with a stone cap. Ms. Ishii is considering both designs for the front porch.

We have also included photographs of the existing concrete stairs and brick piers supporting the portico deck. Both have been compromised, are cracked, failing and in need of replacement.

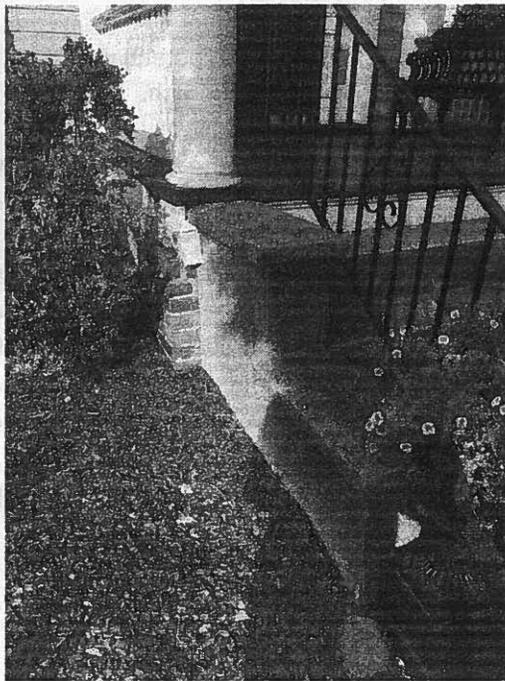
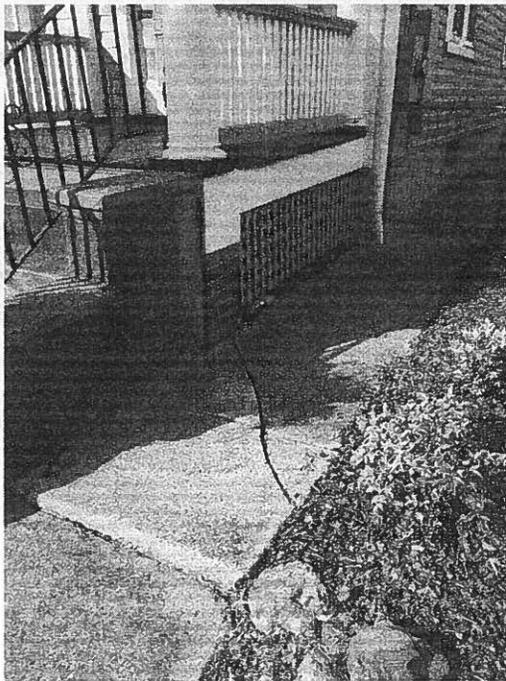
For our project we propose to demolish the existing concrete porch stairs, piers and cheek walls that we believe are not original to the house, are not code compliant, which are set on failing structural footers. We propose to replace existing stairs with period style solid masonry brick, matching the design pictured below.

The finished porch railings will closely match those pictured at 528 Caroline Street, made from metal and painted.

We have also included photographs of the existing fence gate at 1516 Caroline Street and the antique gate that Ms. Ishii would like to use as a replacement.

Thank you for reviewing our plans.

Sincerely,  
Jason Gallant



Existing stairs at 1516 Caroline Street, showing cracked and failing footer and leaning brick pier.



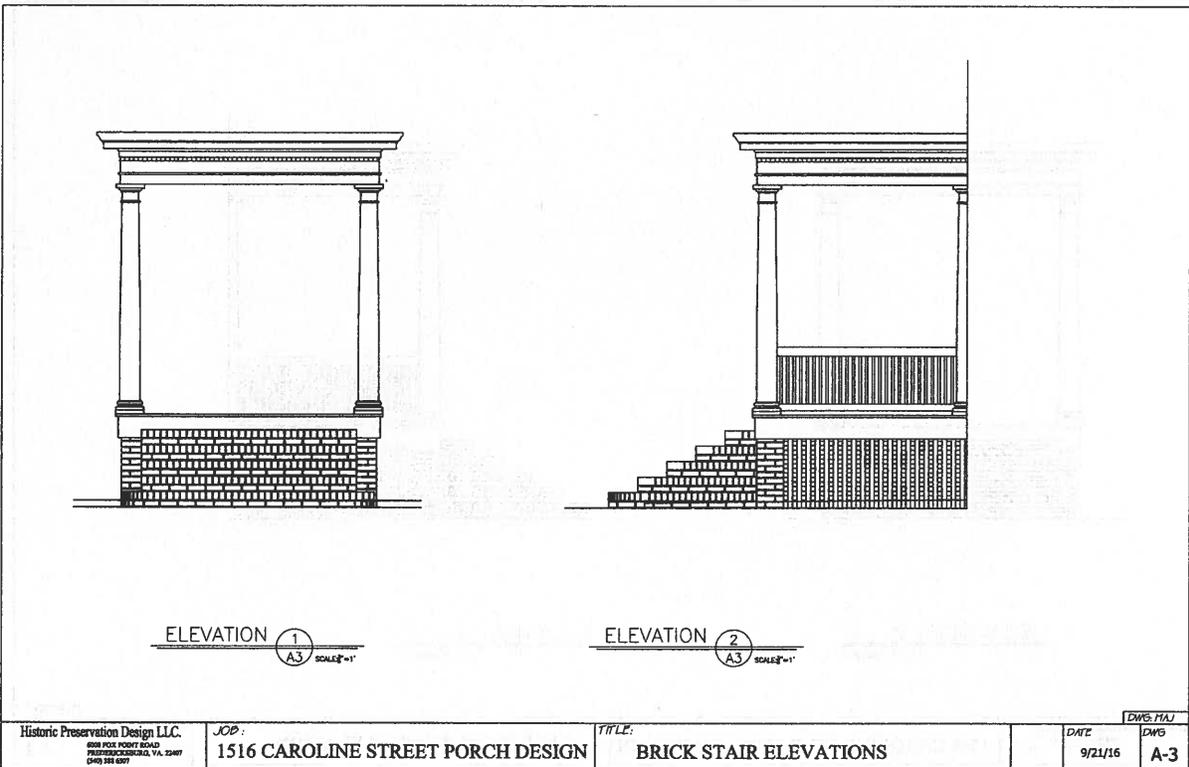
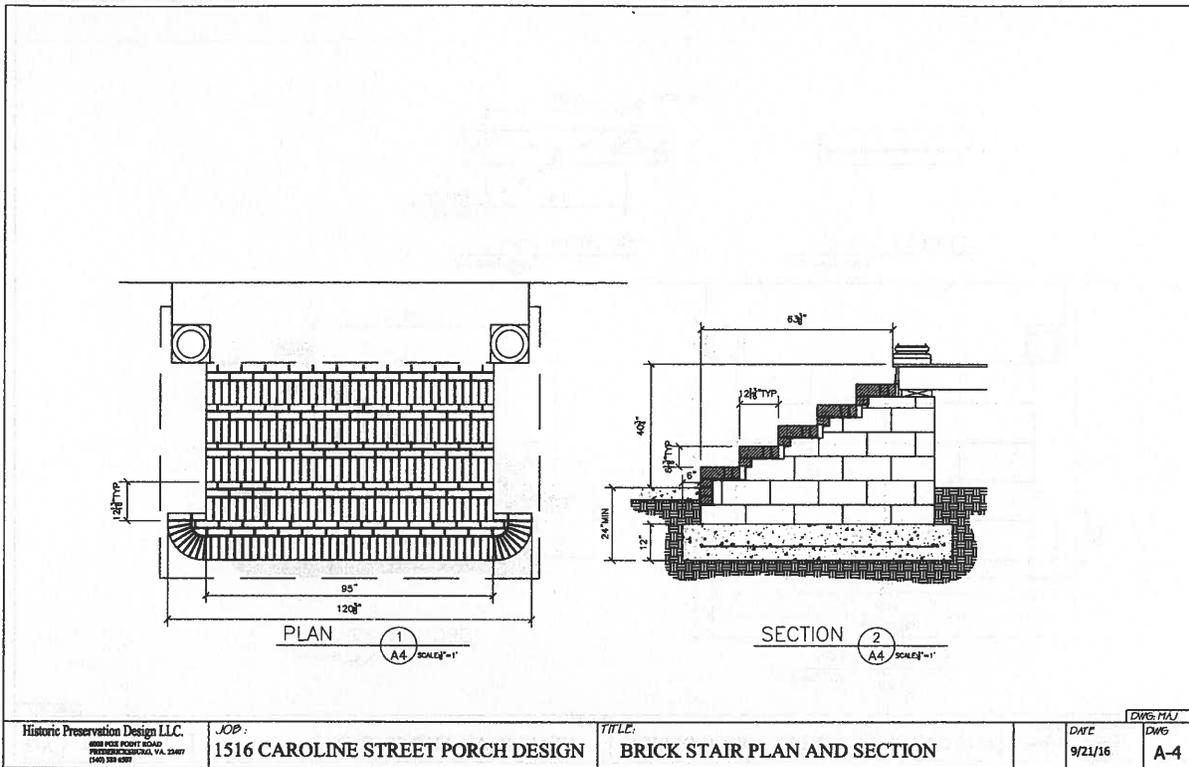
Existing stairs at 528 Caroline Street, which Ms. Ishii would like to match for her new stairs at 1516 Caroline Street.

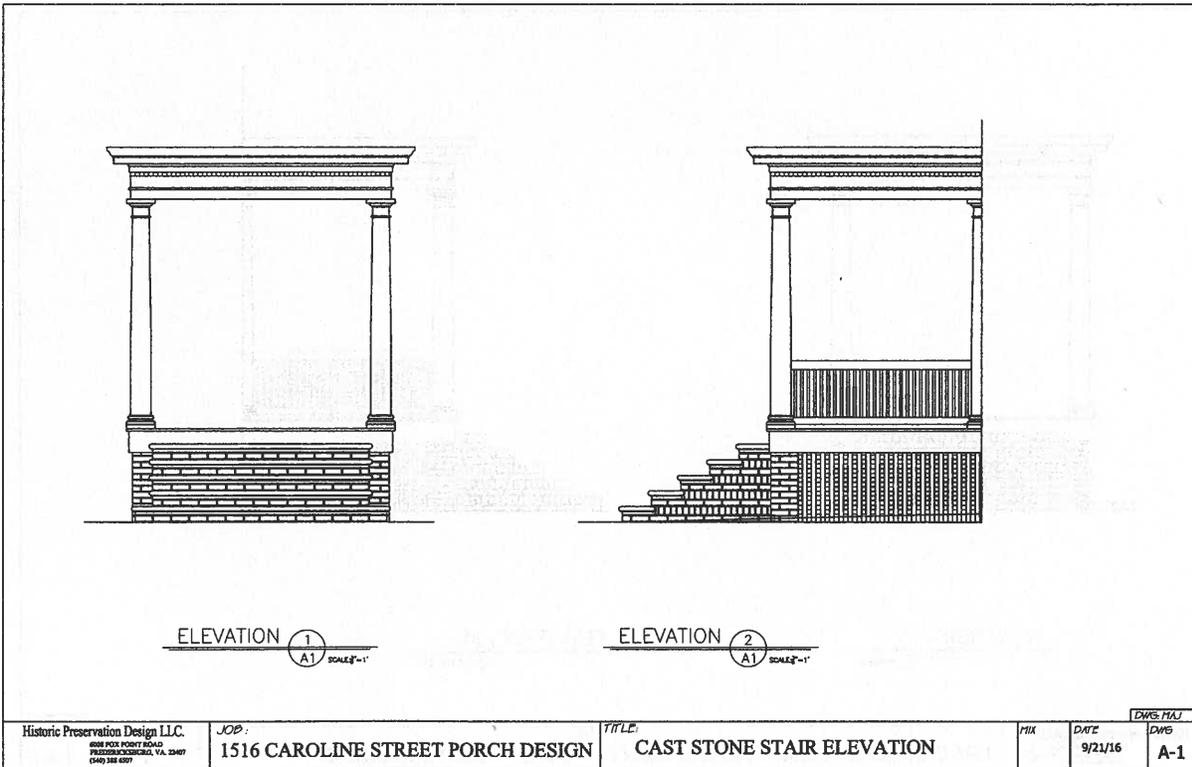
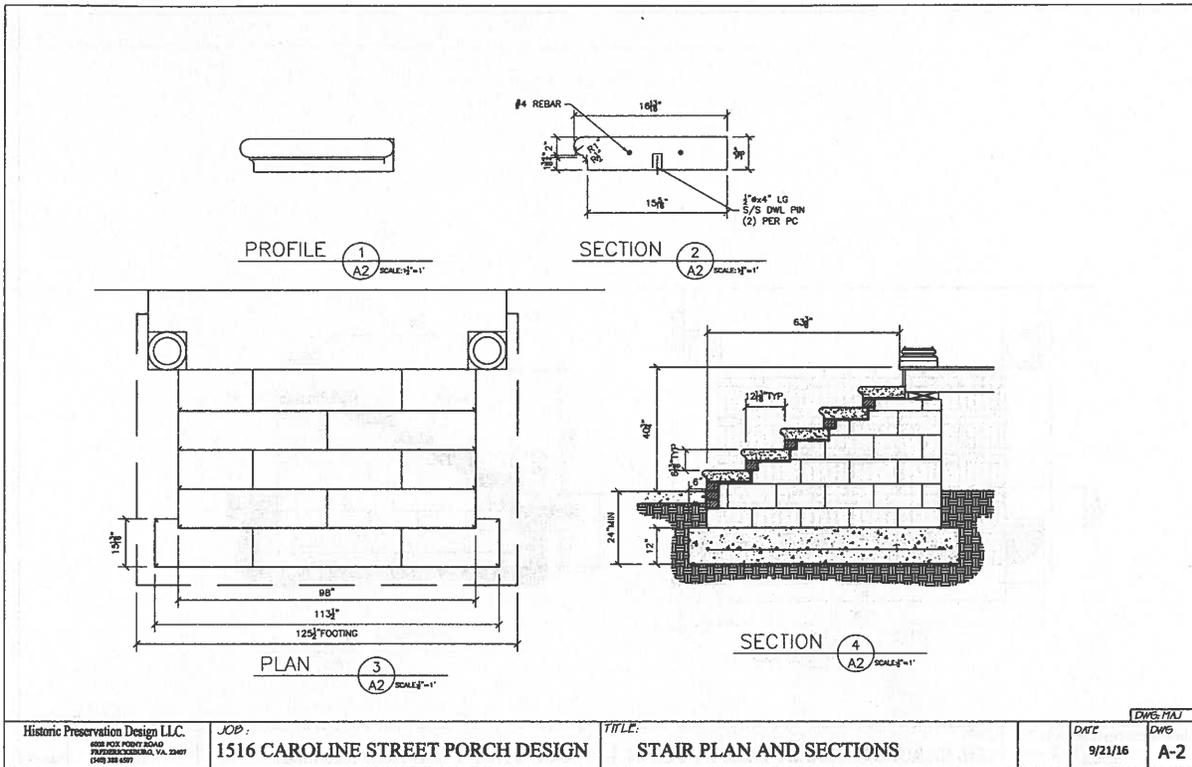


Existing gate at 1516 Caroline Street.

Antique iron gate proposed for replacement.

Existing gate at 1516 Caroline Street, which Mr. Fair would like to replace with a new gate at 1516 Caroline Street.







## MEMORANDUM

**TO:** ARCHITECTURAL REVIEW BOARD  
**FROM:** Kate Schwartz, Historic Resources Planner  
**DATE:** October 17, 2016  
**SUBJECT:** Certificate of Appropriateness for exterior alteration at 1207 Charles Street

---

### ISSUE

Elaine and Emory Farmer request to replace all the windows in this commercial building.

### RECOMMENDATION

Approval of the Certificate of Appropriateness as submitted.

### APPLICABLE HISTORIC DISTRICT DESIGN STANDARDS & GUIDELINES

*Windows (Historic District Handbook, pg. 82)*

#### Maintenance and Repair

1. Retain original windows.
5. Repair original windows by patching, slicing, consolidating, or reinforcing. Wood may appear to be rotten because of peeling paint or separation of joints, yet still be sound and able to be repaired. Rotted parts can be replaced, as necessary, without replacing the entire window.
6. Windows should only be replaced when they are missing or beyond repair. Replacement should be based on physical evidence and photo documentation rather than the availability of stock windows or windows from other buildings. Avoid changing the physical and visual characteristics of windows by using inappropriate materials or finishes that alter the sash, depth of reveal, muntin configuration, glazing, or appearance of the frame.
7. Avoid changing the number, location, size, or glazing pattern of a building's windows by cutting new openings, enlarging existing openings, blocking in windows, or installing replacement sash that does not fit the window opening.
10. Avoid trying to make a building look older than it is by installing windows that are from an earlier period of construction.

### BACKGROUND

This structure is one-story, five-bay commercial building constructed c.1964 and designed with elements of the Colonial Revival style. Constructed of brick laid in common bond, the building features a decorative corbelled course near the top of the wall, splayed brick lintels above the windows, and a central paneled door with rectangular sidelights and transom. Eight-over-twelve wood double-hung sash windows are framed by louvered shutters on the front elevation. The side elevations include simple eight-over-eight double-hung sash. This is a non-contributing structure in the district.

The applicants propose to remove and replace all the windows in this commercial structure. The proposed replacements are Marvin Infinity fiberglass windows in the color “Sierra,” with simulated divided lights and interior spacer bars. The new windows will match the light pattern of those being removed and will include 7/8” muntins. No alterations to the openings will be required. Windows of this type have typically been approved for non-contributing structures and new construction in the district and provide a visual appearance that is consistent with the guidelines. Approval of the request as submitted is recommended.

### **APPROVAL CRITERIA**

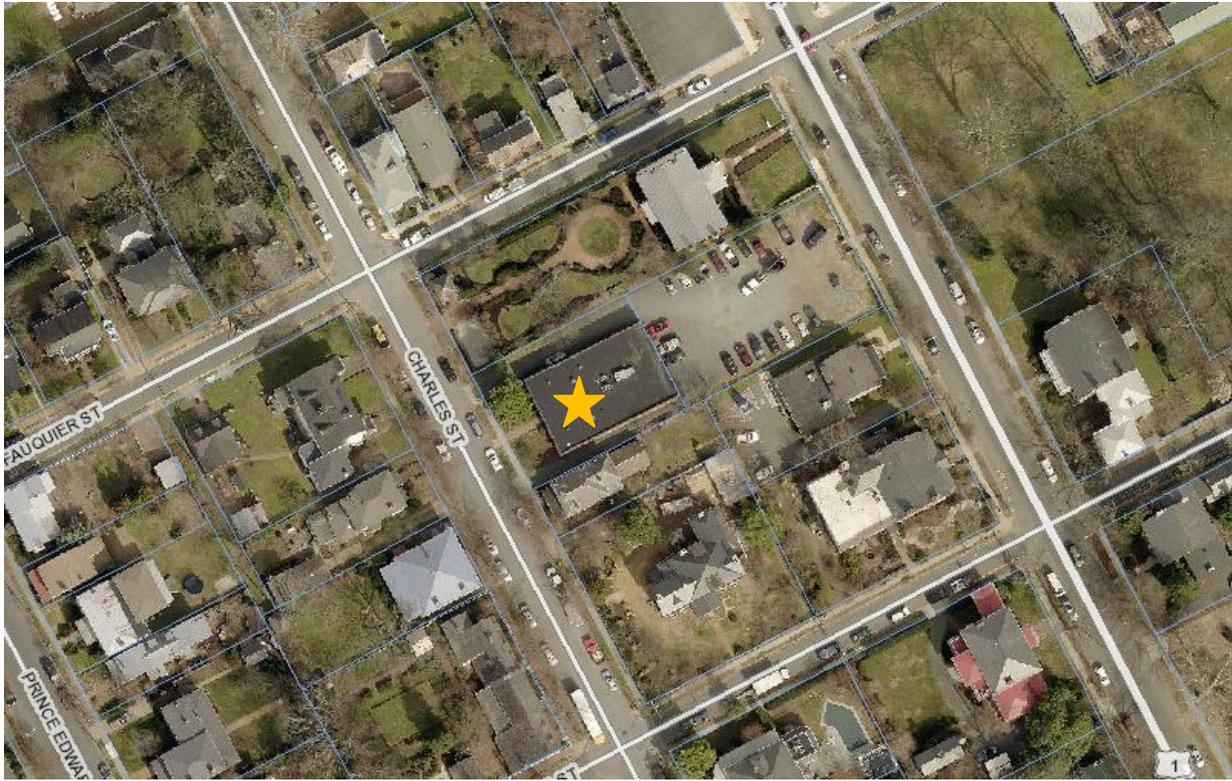
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		X	(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
		X	(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Attachments:

1. Aerial photograph and front elevation view
2. Replacement window specifications



AERIAL



FRONT (WEST) ELEVATION



ATTACHMENT "M"

MARVIN INFINITY WINDOWS

PAGE 1 OF 1

Customer: Bowling, Franklin & Co

Date: 8/4/16

Brand: Infinity from Marvin

Series:	Insert	Full	Qty:
Double Hung	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>21</u>
Glider	<input type="checkbox"/>	<input type="checkbox"/>	_____
Triple Glider *	<input type="checkbox"/>	<input type="checkbox"/>	_____
Picture or Polygon	<input type="checkbox"/>	<input type="checkbox"/>	_____
L Single Casement	<input type="checkbox"/>	<input type="checkbox"/>	_____
R Single Casement	<input type="checkbox"/>	<input type="checkbox"/>	_____
Twin Casement Combo	<input type="checkbox"/>	<input type="checkbox"/>	_____
Triple Casement *	<input type="checkbox"/>	<input type="checkbox"/>	_____
Awning	<input type="checkbox"/>	<input type="checkbox"/>	_____
Total:	<input type="checkbox"/>	<input type="checkbox"/>	_____

\*Triple Glider:  1/4-1/2-1/4  1/3-1/3-1/3  
 \*Triple Casement:  1/4-1/2-1/4  1/3-1/3-1/3

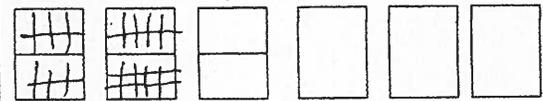
TOTAL Qty: 21  
 (Note: Casement handing is hinge side as viewed from inside)

EXTENSION JAMBS: YES  NO

Everwood:  Qty: \_\_\_\_\_  
 Primed:  Qty: \_\_\_\_\_  
 Other:  Qty: \_\_\_\_\_

EXTERIOR FINISH:	INTERIOR FINISH:
Stone White <input type="checkbox"/>	Stone White <input type="checkbox"/>
Sierra <input checked="" type="checkbox"/>	Sierra <input type="checkbox"/>
Cashmere <input type="checkbox"/>	EverWood <input checked="" type="checkbox"/>
Pebble Grey <input type="checkbox"/>	Bronze <input type="checkbox"/>
Bahama Brown <input type="checkbox"/>	
Bronze <input type="checkbox"/>	

GRIDS/MUTTINS:  
 None:  Airspace Profile:  SD1:



Qty: 17 Qty: 4 Qty: \_\_\_\_\_ Qty: \_\_\_\_\_ Qty: \_\_\_\_\_ Qty: \_\_\_\_\_

GRID/MUTTIN PATTERN match existing  
 Notes: \_\_\_\_\_

GLASS: All Infinity glass is double pane  
 Clear: \_\_\_\_\_ Tempered: \_\_\_\_\_  
 Low E 272: (21) Laminated: \_\_\_\_\_  
 Low E 366: \_\_\_\_\_ Obscure: \_\_\_\_\_  
 Low E 366 & 189 \_\_\_\_\_ Other: \_\_\_\_\_  
 \* All Low E glass includes Argon Gas  
 Notes: \_\_\_\_\_

**HARDWARE:**

White  Sierra   
 Satin Taupe  Brass   
 Satin Nickel  Oil Rubbed Bronze   
 Antique Brass  Brushed Chrome

Notes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

BOTTOM SASH LIFT RAIL: Yes  No

OPENING CONTROL DEVICES NOTE: \_\_\_\_\_  
 \_\_\_\_\_

SCREENS: None  Half  Full   
 High Transparency  Standard

**REMOVING:**

Wood  Qty: 21  
 Aluminum  Qty: \_\_\_\_\_  
 Vinyl  Qty: \_\_\_\_\_  
 Steel (No Pan)  Qty: \_\_\_\_\_  
 Steel (w/ Pan)  Qty: \_\_\_\_\_

**INSTALLATION METHOD:**

Wood Pocket  Qty: 21  
 Drywall/Wood Return  Qty: \_\_\_\_\_  
 Full Tear Out:  Qty: \_\_\_\_\_  
 Other:  Qty: \_\_\_\_\_

**CAPPING:**

Color: # Cozy Cottage Name: \_\_\_\_\_  
 PVC  Smooth  No-Mar

Please note: Installation does not include capping of steel lintels, arch tops, or window bay/bow boxes unless otherwise specified.

CAULK COLOR: Cozy Cottage Almond

**CASING:**

2 1/4"  3 1/4"  Other   
 Colonial  Ranch  Other

Please Note: All interior casing, molding, etc. will be paint grade unless otherwise specified. Installation does not include replacing or adding window stools unless otherwise specified.

LEAD PAMPHLET GIVEN: YES  NO

**CERTIFIED LEAD SAFE RENOVATION:**

YES  NO  YEAR BUILD: \_\_\_\_\_  
 If yes, how many openings: \_\_\_\_\_

**SPECIAL INSTRUCTIONS:**

\_\_\_\_\_  
 \_\_\_\_\_

Please Note: Seller can not guarantee that visible glass opening will match that of existing sight lines. Seller can not guarantee that existing window treatments will be able to be reinstalled in the same location or that existing window treatments will fit once replacement window has been installed (i.e. blinds, shutters, etc.). Some replacement window glass packages may have a different "visible light transmittance" than existing windows.

[Signature] 8/4/16  
 Sales Representative/Date

[Signature]  
 Customer/Date

## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

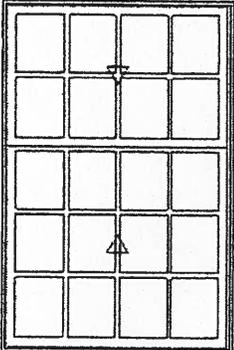
NUMBER OF LINES: 3

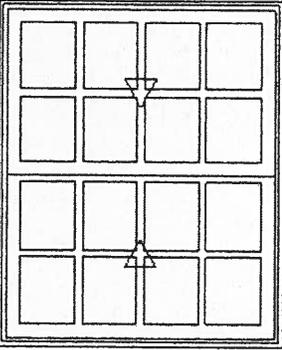
TOTAL UNIT QTY: 21

LINE	MARK UNIT	BRAND	ITEM	QTY
1	front	Infinity	Insert Double Hung IO 44" X 66"	4
2	left side	Infinity	Insert Double Hung IO 36" X 43"	2
3	balance of offices	Infinity	Insert Double Hung IO 36" X 53"	15

**LINE ITEM QUOTES**

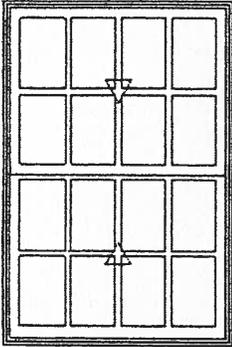
The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1 Qty: 4	Mark Unit: front			
 <p>As Viewed From The Exterior</p> <p>FS 43 5/8" X 66"                  IO 44" X 66"                  Egress Information                  No Egress Information available.</p>		INFINITY <small>by MARVIN</small> REPLACEMENT WINDOWS <i>Built for life</i> Sierra Exterior Stone White Interior Infinity Insert Double Hung Inside Opening 44" X 66" Cottage 2.0:5.0 Top Sash G.S. 39 1/2" X 24 13/64" IG Low E2 w/Argon 7/8" SDL - With Spacer Bar Rectangular 4W2H Sierra Ext - Stone White Int Bottom Sash G.S. 39 1/2" X 36 5/16" IG Low E2 w/Argon 7/8" SDL - With Spacer Bar Rectangular 4W3H Sierra Ext - Stone White Int White Sash Lock White Sash Lift Extruded Full Screen Sierra Surround Charcoal Hi-Transparency Fbrglis Mesh Existing Sill Angle 4 3 1/4" Jambs ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.		

Line #2 Qty: 2	Mark Unit: left side			
 <p>As Viewed From The Exterior</p> <p>FS 35 5/8" X 43"                  IO 36" X 43"                  Egress Information                  Width: 32 15/16" Height: 15 25/32"                  Net Clear Opening: 3.61 SqFt</p>		INFINITY <small>by MARVIN</small> REPLACEMENT WINDOWS <i>Built for life</i> Sierra Exterior Stone White Interior Infinity Insert Double Hung Inside Opening 36" X 43" Top Sash IG Low E2 w/Argon 7/8" SDL - With Spacer Bar Rectangular 4W2H Sierra Ext - Stone White Int Bottom Sash IG Low E2 w/Argon 7/8" SDL - With Spacer Bar Rectangular 4W2H Sierra Ext - Stone White Int White Sash Lock White Sash Lift Extruded Full Screen Sierra Surround Charcoal Hi-Transparency Fbrglis Mesh Existing Sill Angle 4 3 1/4" Jambs ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.		

Line #3	Mark Unit: balance of offices			
Qty: 15				

**INFINITY**  
by MARVIN  
 REPLACEMENT WINDOWS  
*Built for Life*



As Viewed From The  
 Exterior

FS 35 5/8" X 53"  
 IO 36" X 53"  
 Egress Information  
 Width: 32 15/16" Height: 20 25/32"  
 Net Clear Opening: 4.75 SqFt

Sierra Exterior  
 Stone White Interior  
 Infinity Insert Double Hung  
 Inside Opening 36" X 53"  
 Top Sash  
 IG  
 Low E2 w/Argon  
 7/8" SDL - With Spacer Bar  
 Rectangular 4W2H  
 Sierra Ext - Stone White Int  
 Bottom Sash  
 IG  
 Low E2 w/Argon  
 7/8" SDL - With Spacer Bar  
 Rectangular 4W2H  
 Sierra Ext - Stone White Int  
 White Sash Lock  
 White Sash Lift  
 Extruded Full Screen  
 Sierra Surround  
 Charcoal Hi-Transparency Fbrgls Mesh  
 Existing Sill Angle 4  
 3 1/4" Jambos  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.